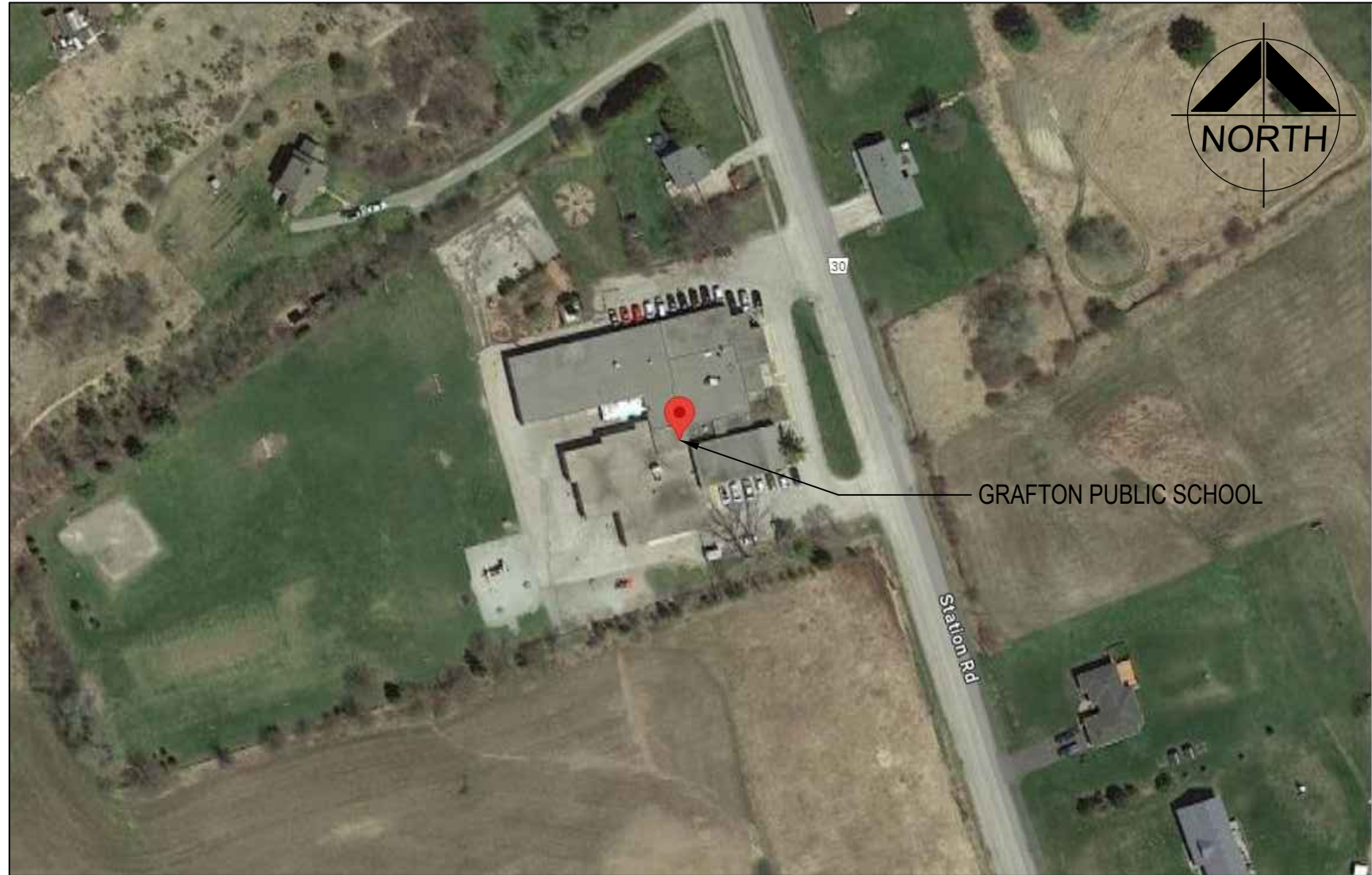


GRAFTON PUBLIC SCHOOL INTERIOR RENOVATIONS

654 Station Road,
Grafton, ON



1 LOCATION MAP
A000 N.T.S.

LIST OF DRAWINGS

A000 COVER, OBC MATRIX & DRAWING LIST

ARCHITECTURAL

A201 OVERALL GROUND FLOOR PLAN
A202 PART FIRST FLOOR DEMOLITION PLAN
A203 PART FIRST FLOOR CEILING DEMOLITION PLAN
A204 PART FIRST FLOOR PLAN
A205 PART FIRST FLOOR REFLECTED CEILING PLAN
A401 WALL SECTIONS
A701 INTERIOR ELEVATIONS
A702 INTERIOR ELEVATIONS & SCHEDULES
A801 MILLWORK PLANS AND ELEVATIONS
A802 MILLWORK DETAILS

MECHANICAL

M101 KEY PLAN, LEGENDS, AND SCHEDULES
M201 PARTIAL PLANS DEMOLITION
M301 PARTIAL PLANS RENOVATION
M401 DETAILS

ELECTRICAL

E101 OVERALL PLAN & LEGEND
E102 SCHEDULES & DETAILS
E201 PARTIAL GROUND FLOOR - DEMOLITION PLANS
E202 PARTIAL GROUND FLOOR - DEMOLITION PLANS
E301 PARTIAL GROUND FLOOR - RENOVATION PLANS
E302 PARTIAL GROUND FLOOR - RENOVATION PLANS
E401 FIRE ALARM RISER

NAME OF CONSULTANT : BARRY BRYAN ASSOCIATES CERTIFICATE OF PRACTICE NUMBER : 5192 250 WATER STREET, SUITE 201 WHITBY, ONTARIO, CANADA L1N 0G5 TEL : (905) - 666 - 5252 (Toronto) (905) - 427 - 4495 FAX : (905) - 666 - 5256			
NAME OF PROJECT : Grafton Public School Interior Elevations			
LOCATION OF PROJECT : 654 Station Road, Grafton, ON			
DATE : March 2024			
Ontario Building Code Data Matrix Part 11 - Renovation of Existing Building			OBC Reference
11.00	Building Code Version: O.Reg. 332/12 Last Amendment: O.Reg. 191/14		
11.01	Project Type:	<input type="checkbox"/> Addition <input type="checkbox"/> Change of use <input checked="" type="checkbox"/> Renovation <input type="checkbox"/> Addition and Renovation	[A] 1.1.2.
11.02	Major Occupancy Classification:	Description: Renovations to Classroom Occupancy Group: A, Div. Use: Elementary School 2 - -	3.1.2.1.(1)
11.03	Superimposed Major Occupancies:	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Description: -	3.2.2.7
11.04	Building Area (m²)	Description: Existing Building Existing: 2,581 m² New: - Total: 2,581 m² - - - Total: 2,581 m² - 2,581 m²	[A] 1.4.1.2.
11.05	Building Height	1 Storeys above grade ±6.0 (m) Above grade 0 Storeys below grade	[A] 1.4.1.2 & 3.2.1.1
11.06	Number of streets/ fire fighter access:	1 street(s) Existing	3.2.2.10 & 3.2.5
11.07	Building Size:	<input type="checkbox"/> Small <input type="checkbox"/> Medium <input checked="" type="checkbox"/> Large <input type="checkbox"/> > Large	T.11.2.1.1 B.-N.
11.08	Existing Building Classification:	Change in Major Occupancy: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> Not Applicable (no change of major occupancy) Construction Index: 6 Hazard Index: 6 Importance Category: <input type="checkbox"/> Low <input type="checkbox"/> Normal <input type="checkbox"/> High <input type="checkbox"/> Post-disaster	11.2.1 T11.2.1.1A T11.2.1.1B to N. 4.2.1(3) & 5.2.2.1.(2)
11.09	Renovation Type:	<input checked="" type="checkbox"/> Basic Renovation <input type="checkbox"/> Extensive Renovation	11.3.3.1 & 11.3.3.2
11.10	Occupant Load:	Floor Level/ Area: First Floor Occupancy Type: No Change Based On: No Change Occup. Load: No Change	3.1.17
11.11	Plumbing Fixture Requirements:	Ratio: Male/Female = 50:50 Except as noted otherwise Floor level/ Area: First Floor Occupant Load: No Change OBC Reference: Fictures Required: Fictures Provided: No Change No Change	3.7.4
11.12	Barrier-free Design:	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No Explanation:	11.3.3.2.(2)
11.13	Reduction in Performance Level:	Structural: <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes By increase in occupant load: <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes By change of major occupancy: <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes Plumbing: <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes Sewage - system: <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes	11.4.2.1 11.4.2.2 11.4.2.3 11.4.2.4 11.4.2.5
11.14	Compensating Construction:	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Structural: <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes By increase in occupant load: <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes By change of major occupancy: <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes Plumbing: <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes Sewage - system: <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes Extension of Combustible Construction: <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes	11.4.2.1 11.4.2.2 11.4.2.3 11.4.2.4 11.4.2.5 11.4.2.6 11.4.2.7
11.15	Compliance Alternatives Proposed:	<input checked="" type="checkbox"/> No <input type="checkbox"/> Yes	11.5.1.
11.16	Notes:	Renovation to 3 classrooms. Areas of work = +/-308.5m²	11.5.1

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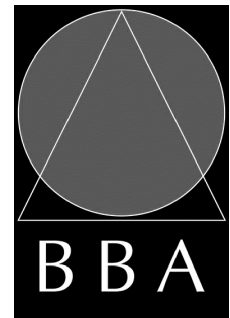
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NO.	REVISIONS	DATE	BY

PROJECT:
**GRAFTON PUBLIC SCHOOL
INTERIOR RENOVATIONS**

654 Station Road, Colborne, ON
KPRDSB - GRAPTON PUBLIC SCHOOL

DRAWING:
**COVER, OBC MATRIX &
DRAWING LIST**



BARRY BRYAN
ASSOCIATES

Architects
Engineers
Project Managers

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BBA

DOC. CONTROL:
DATE:

DRAWN BY:
CM

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CHECKED BY:

INITIAL:

DATE:
JAN. 2024

SCALE:
AS NOTED

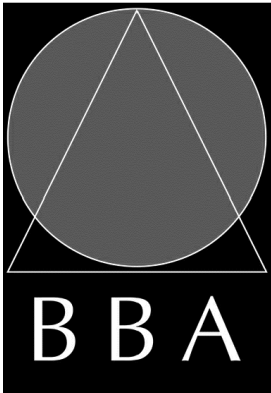
FILE:

PROJECT NO:
24006

DRAWING NO:
A000

CONSULTANTS

ARCHITECTURAL/STRUCTURAL:



BARRY BRYAN
ASSOCIATES

Architects
Engineers
Project Managers

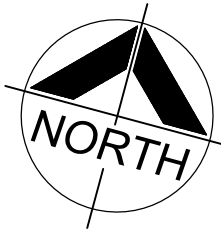
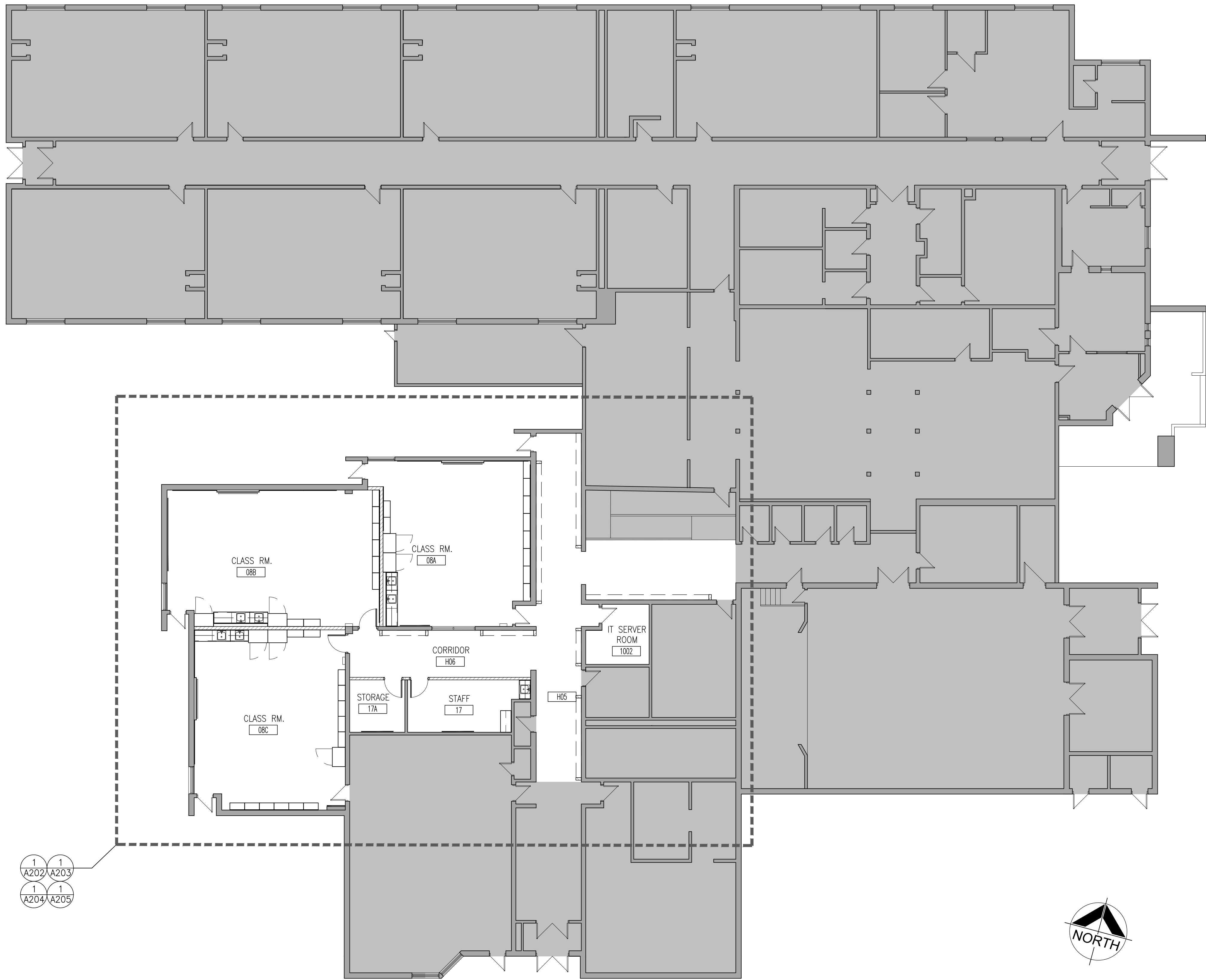
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e-mail: bba@bba-archeng.com

MECHANICAL & ELECTRICAL:



MECHANICAL | ELECTRICAL | AQUATIC



1 OVERALL GROUND FLOOR PLAN
A201 1:200

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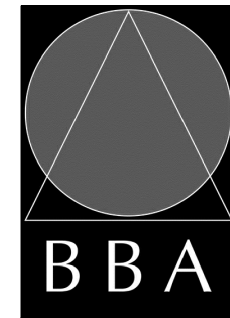
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PROJECT:
**GRAFTON PUBLIC SCHOOL
INTERIOR RENOVATIONS**

654 Station Road, Colborne, ON
KPRDSB - GRAPTON PUBLIC SCHOOL

DRAWING:
**OVERALL GROUND
FLOOR PLAN**



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Engineers
Project Managers
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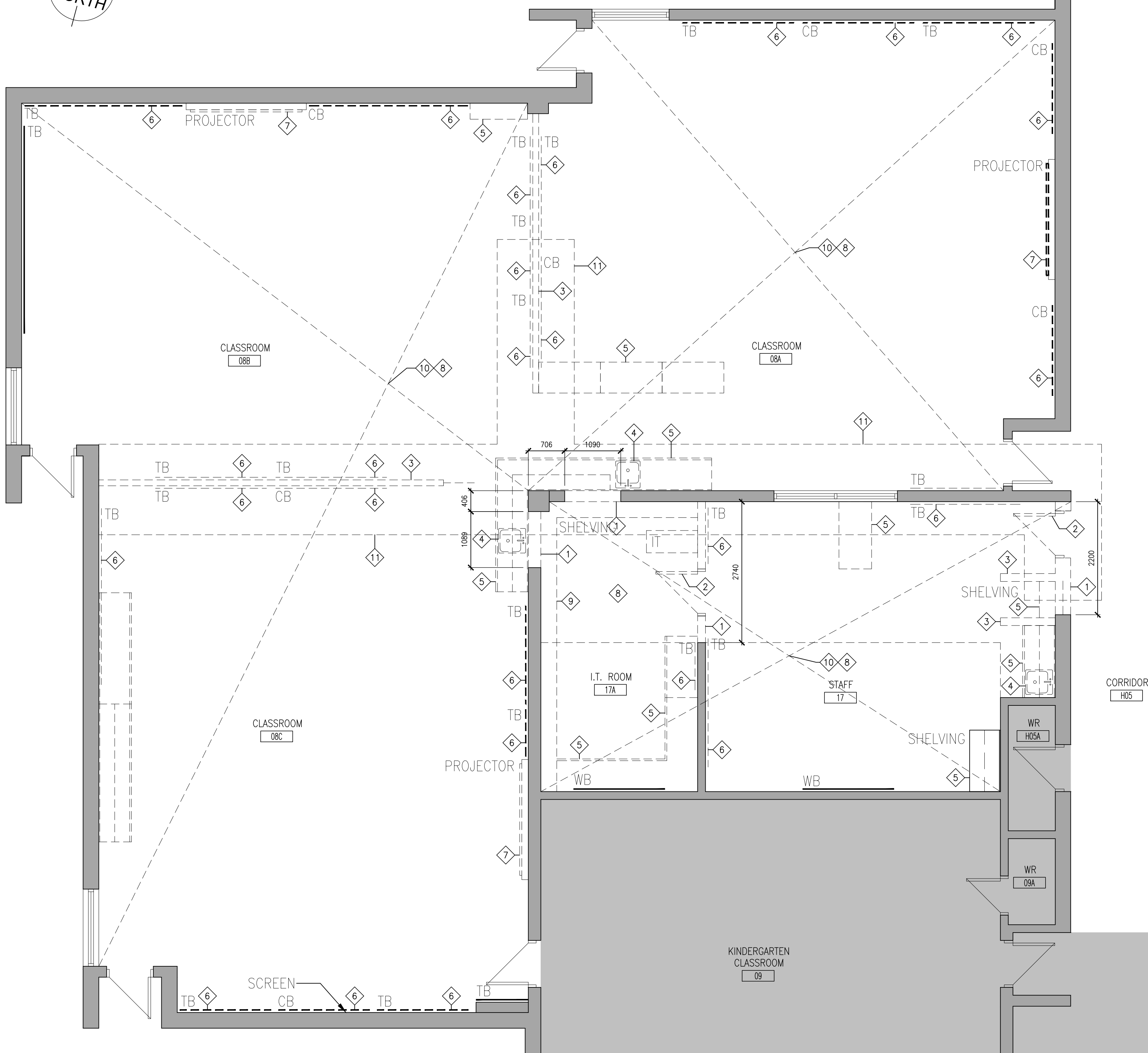
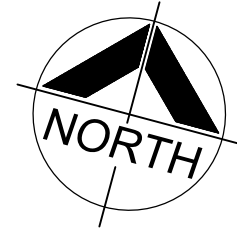
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P23-418 A201.DWG

PROJECT NO:
24006

DRAWING NO:
A201

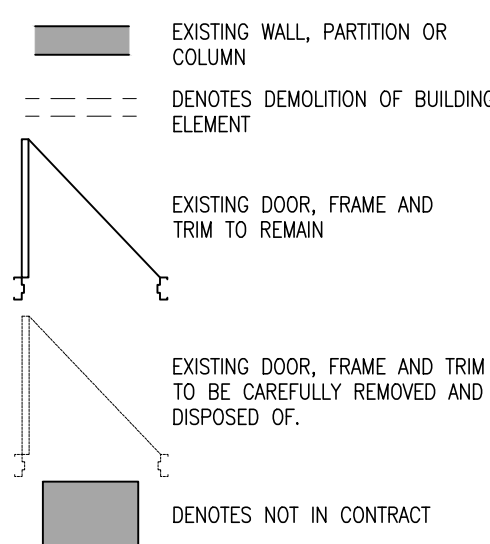


1 PART FIRST FLOOR DEMOLITION PLAN
A202 1:50

GENERAL DEMOLITION NOTES

- SITE VERIFY ALL DIMENSIONS AND CONDITIONS.
- ALL WORK TO BE IN ACCORDANCE WITH THE ONTARIO BUILDING CODE.
- COMPLY WITH THE OCCUPATIONAL HEALTH AND SAFETY ACT REGULATIONS FOR CONSTRUCTION PROJECTS.
- PROVIDE PROTECTION IN LOCATIONS APPROVED BY THE OWNER AND CONSULTANT SO AS NOT TO DAMAGE EXISTING STRUCTURE, LANDSCAPE OR PART THEREOF.
- COMPLETE ALL DEMOLITION WORK NECESSARY TO COMPLETE THE RENOVATIONS AS SHOWN AND AS REQUIRED. DEMOLITION OF BUILDING ELEMENTS INCLUDES BUT NOT LIMITED TO COMPLETE REMOVAL OF ALL ASSOCIATED FIXTURES, FITTINGS, HARDWARE, FASTENERS, EQUIPMENT AND ACCESSORIES UNLESS NOTED OTHERWISE.
- PROVIDE ALL SHORING AS REQUIRED. SHORING SHALL BE DESIGNED BY A REGISTERED PROFESSIONAL ENGINEER.
- NOTIFY CONSULTANT OF LOAD BEARING MEMBERS OR ASSEMBLIES IDENTIFIED OR DISCOVERED DURING WORK AND NOT INDICATED ON DRAWINGS. DO NOT PROCEED WITH REMOVALS WITHOUT PRIOR REVIEW BY THE CONSULTANT.
- PROVIDE TEMPORARY SUPPORT OF PIPES, DUCTS AND ELECTRICAL CHASES AS REQUIRED FOR SAFE REMOVAL. EXISTING AND PROPOSED SUPPORTS ARE TO BE REVIEWED BY THE CONSULTANT PRIOR TO THE REMOVAL OF ANY COMPONENTS WHICH MAY FALL, OR CAUSE OTHERS TO FALL.
- MAINTAIN ALL WORK AREAS AND ALL STORAGE AREAS CLEAN AND ORDERLY AT ALL TIMES INCLUDING EXISTING AREAS THAT REMAIN IN OPERATION DURING CONSTRUCTION. DUST CONTROL MEASURES ARE TO BE IN PLACE AT ALL TIMES AND NOISY WORK SHALL BE COORDINATED AROUND PROGRAM EVENTS.
- REMOVAL OF EXISTING FLOOR FINISHES IS TO INCLUDE COMPLETE REMOVAL OF BASE AND ALL MORTAR AND ADHESIVES AND PREPARATION OF EXISTING SUBSTRATES TO RECEIVE NEW FLOORING. SATISFACTORY TO THE MANUFACTURER OF NEW FLOOR FINISHES. ALLOW FOR EXCESSIVE LEVELING OF SLABS.
- DEMOLITION INCLUDES ALL ASSOCIATED MECHANICAL AND ELECTRICAL SERVICES, EQUIPMENT, FITTINGS, FIXTURES, HANGERS, BRACKETS, TRIM AND ACCESSORIES AS REQUIRED TO COMPLETE THE WORK.
- MAINTAIN EXISTING FIRE HOSE CABINETS AND FIRE RATINGS.
- MAINTAIN EXISTING FIRE HOSE CABINETS AND FIRE RATINGS.
- REMOVAL OF DOORS AND FRAMES IS TO INCLUDE REMOVAL OF ALL HARDWARE.
- REMOVAL ALL PROTRUSIONS IN FLOOR SLAB AND GRIND DOWN TO FLOOR LEVEL.
- CLEAN, PATCH / REPAIR ALL EXISTING SURFACES TO REMAIN TO RECEIVE NEW FINISHES. ALLOW FOR REMOVAL OR SCARIFICATION OF EXISTING PAINT FINISH ON WALLS THAT ARE TO RECEIVE NEW WALL TILE FINISH. REMOVE ALL MORTAR, ADHESIVES AND RUST AS REQUIRED TO PREPARE EXISTING SUBSTRATES TO RECEIVE NEW PAINT FINISHES.
- DISCONNECT AND CAP OFF ALL SERVICES PRIOR TO DEMOLITION.
- DISPOSE OF MATERIALS OFF SITE.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO THE EXISTING STRUCTURE OR FINISHES SHOWN TO REMAIN AND REPAIR / REPLACE SAME TO THE SATISFACTION OF THE OWNER AND CONSULTANT.
- BUILDING TO BE SECURED BY THE G.C. AT ALL TIMES.
- REFER TO THE HAZARDOUS BUILDING MATERIALS ASSESSMENT REPORT.

DEMOLITION LEGEND



DEMOLITION NOTES

- REMOVE AND DISPOSE OF EXISTING MASONRY PARTITION TO EXTENT SHOWN AND AS REQUIRED TO COMPLETE NEW WORK. PATCH, REPAIR AND MAKE GOOD ALL SURFACES.
- REMOVE AND DISPOSE OF EXISTING DOOR & FRAME. PATCH, REPAIR AND MAKE GOOD ALL AFFECTED SURFACES.
- REMOVE AND DISPOSE OF EXISTING PARTITION. PATCH, REPAIR AND MAKE GOOD ALL SURFACES.
- REMOVE AND DISPOSE OF EXISTING PLUMBING FIXTURE, DISCONNECT AND CAP ALL SERVICES PRIOR TO DEMOLITION. PREPARE AREAS TO RECEIVE NEW FIXTURE. REFER TO NEW PLANS AND MECHANICAL DRAWINGS.
- REMOVE AND DISPOSE OF EXISTING MILLWORK TO EXTENT SHOWN AND AS REQUIRED TO COMPLETE NEW WORK. PATCH, REPAIR AND MAKE GOOD ALL SURFACES.
- REMOVE AND DISPOSE OF ALL WALL MOUNTED BOARDS, (CHALK BOARDS & TACK BOARDS), MAKE GOOD AFFECTED AREA.
- REMOVE EXISTING SMART BOARD AND ALL ASSOCIATED ELECTRICAL.
- REMOVE EXISTING FURNITURES AND HANDOVER TO OWNER.
- REMOVE AND RELOCATE EXISTING SHELVING.
- REMOVE AND DISPOSE OF EXISTING VCT FLOOR TILE AND RUBBER WALL BASE. PREPARE EXISTING SURFACES TO RECEIVE NEW FLOORING AND BASE AS SCHEDULED.
- REMOVE CONCRETE FLOOR AND PROVIDE TRENCHING. REFER TO MECHANICAL. REPAIR FLOOR AT LOCATION WHERE PIPING HAD PENETRATED FLOOR. PATCH, REPAIR, AND MAKE GOOD AFFECTED SURFACES AS REQUIRED FOR NEW WORK.

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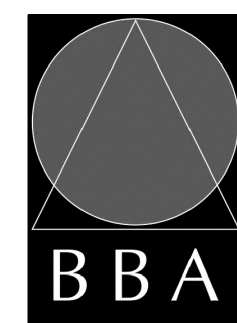
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1	ISSUED FOR TENDER	MAR. 13, 2024	BBA

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PROJECT:
**GRAFTON PUBLIC SCHOOL
INTERIOR RENOVATIONS**

654 Station Road, Colborne, ON
KPRDSB - GRAFTON PUBLIC SCHOOL

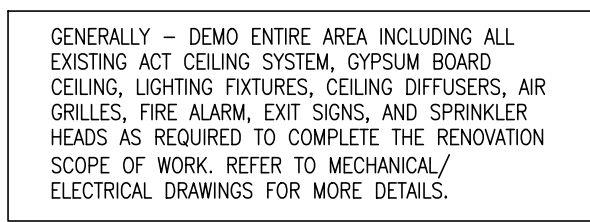
DRAWING:
**PART FIRST FLOOR
DEMOLITION PLAN**



**BARRY BRYAN
ASSOCIATES**
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Engineers
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FILE: P23-418 A201.DWG	

PROJECT NO:
24006
DRAWING NO:
A202



CLASSROOM
08A

STAFF

17

IT SERVICE
ROOM

CLASSROOM
08C

CORRIDOR
H05WR
H05A





WR
09A

KINDERGARTEN
CLASSROOM
09

1:50

1. SITE VERIFY ALL DIMENSIONS AND CONDITIONS

- | | | | |
|--|---|---|--|
| 1. SITE VERIFY ALL DIMENSIONS AND CONDITIONS. | 8. PROVIDE TEMPORARY SUPPORT OF PIPES, DUCTS AND ELECTRICAL CHASES AS REQUIRED FOR SAFE REMOVAL. EXISTING AND PROPOSED SUPPORTS ARE TO BE REVIEWED BY THE CONSULTANT PRIOR TO THE REMOVAL OF ANY COMPONENTS WHICH MAY FALL OR CAUSE OTHERS TO FALL. | 13. MAINTAIN EXISTING FIRE HOSE CABINETS AND FIRE RATINGS. | 20. BUILDING TO BE SECURED BY THE G.C. AT ALL TIMES. |
| 2. ALL WORK TO BE IN ACCORDANCE WITH THE ONTARIO BUILDING CODE. | | 14. REMOVAL OF DOORS AND FRAMES IS TO INCLUDE REMOVAL OF ALL HARDWARE. | 21. REFERENCE TO THE HAZARDOUS BUILDING MATERIALS ASSESSMENT REPORT. |
| 3. COMPLY WITH THE OCCUPATIONAL HEALTH AND SAFETY ACT REGULATIONS FOR CONSTRUCTION PROJECTS. | 9. MAINTAIN ALL WORK AREAS AND ALL STORAGE AREAS CLEAN AND ORDERLY AT ALL TIMES INCLUDING EXISTING AREAS THAT REMAIN IN OPERATION DURING CONSTRUCTION. DUST CONTROL MEASURES ARE TO BE IN PLACE AT ALL TIMES AND NOISY WORK SHALL BE COORDINATED AROUND PROGRAM EVENTS. | 15. REMOVE ALL PROTRUSIONS IN FLOOR SLAB AND GRIND DOWN TO FLOOR LEVEL. | |
| 4. PROVIDE PROTECTION IN LOCATIONS APPROVED BY THE OWNER AND CONSULTANT SO AS NOT TO DAMAGE EXISTING STRUCTURE, LANDSCAPE OR PART THEREOF. | 10. REMOVAL OF EXISTING FLOOR FINISHES IS TO INCLUDE COMPLETE REMOVAL OF BASE AND ALL MORTAR AND ADHESIVES AND PREPARATION OF EXISTING SUBSTRATES TO RECEIVE NEW FLOORING, SATISFACTORY TO THE MANUFACTURER OF NEW FLOOR FINISHES. ALLOW FOR EXCESSIVE LEVELING OF SLABS. | 16. CLEAN, PATCH / REPAIR ALL EXISTING SURFACES TO REMAIN TO RECEIVE NEW FINISHES. ALLOW FOR REMOVAL OR SCARIFICATION OF EXISTING PAINT FINISH ON WALLS THAT ARE TO RECEIVE NEW WALL TILE FINISH. REMOVE ALL MORTAR, ADHESIVES AND JEST AS REQUIRED TO PREPARE EXISTING SUBSTRATES TO RECEIVE NEW PAINT FINISHES. | |
| 5. COMPLETE ALL DEMOLITION WORK NECESSARY TO COMPLETE THE RENOVATIONS AS SHOWN AND AS REQUIRED. DEMOLITION INCLUDES BUT NOT LIMITED TO COMPLETE REMOVAL OF ALL ASSOCIATED FIXTURES, FITTINGS, HARDWARE, FASTENERS, EQUIPMENT AND ACCESSORIES UNLESS NOTED OTHERWISE. | 11. DEMOLITION INCLUDES ALL ASSOCIATED MECHANICAL AND ELECTRICAL SERVICES, EQUIPMENT, FITTINGS, FIXTURES, HANGERS, BRACKETS, TRIM AND ACCESSORIES AS REQUIRED TO COMPLETE THE WORK. | 17. DISCONNECT AND CAP OFF ALL SERVICES PRIOR TO DEMOLITION. | |
| 6. PROVIDE ALL SHORING AS REQUIRED. SHORING SHALL BE DESIGNED BY A REGISTERED PROFESSIONAL ENGINEER. | 12. MAINTAIN EXISTING FIRE HOSE CABINETS AND FIRE RATINGS. | 18. DISPOSE OF MATERIALS OFF SITE. | |
| 7. NOTIFY CONSULTANT OF LOAD BEARING MEMBERS OR ASSEMBLIES IDENTIFIED OR DISCOVERED DURING WORK AND NOT INDICATED ON DRAWINGS. DO NOT PROCEED WITH REMOVALS WITHOUT PRIOR REVIEW BY THE CONSULTANT. | | 19. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO THE EXISTING STRUCTURE OR FINISHES SHOWN TO REMAIN AND REPAIR / REPLACE SAME TO THE SATISFACTION OF THE OWNER AND CONSULTANT. | |

-  EXISTING WALL, PARTITION OR COLUMN
-  EX. ACT AND GRID TO BE REMOVED AND DISPOSED
-  DENOTES NOT IN CONTRACT
-  EXISTING LIGHTS TO BE REMOVED AND DISPOSED



Kawartha Pine Ridge
District School Board

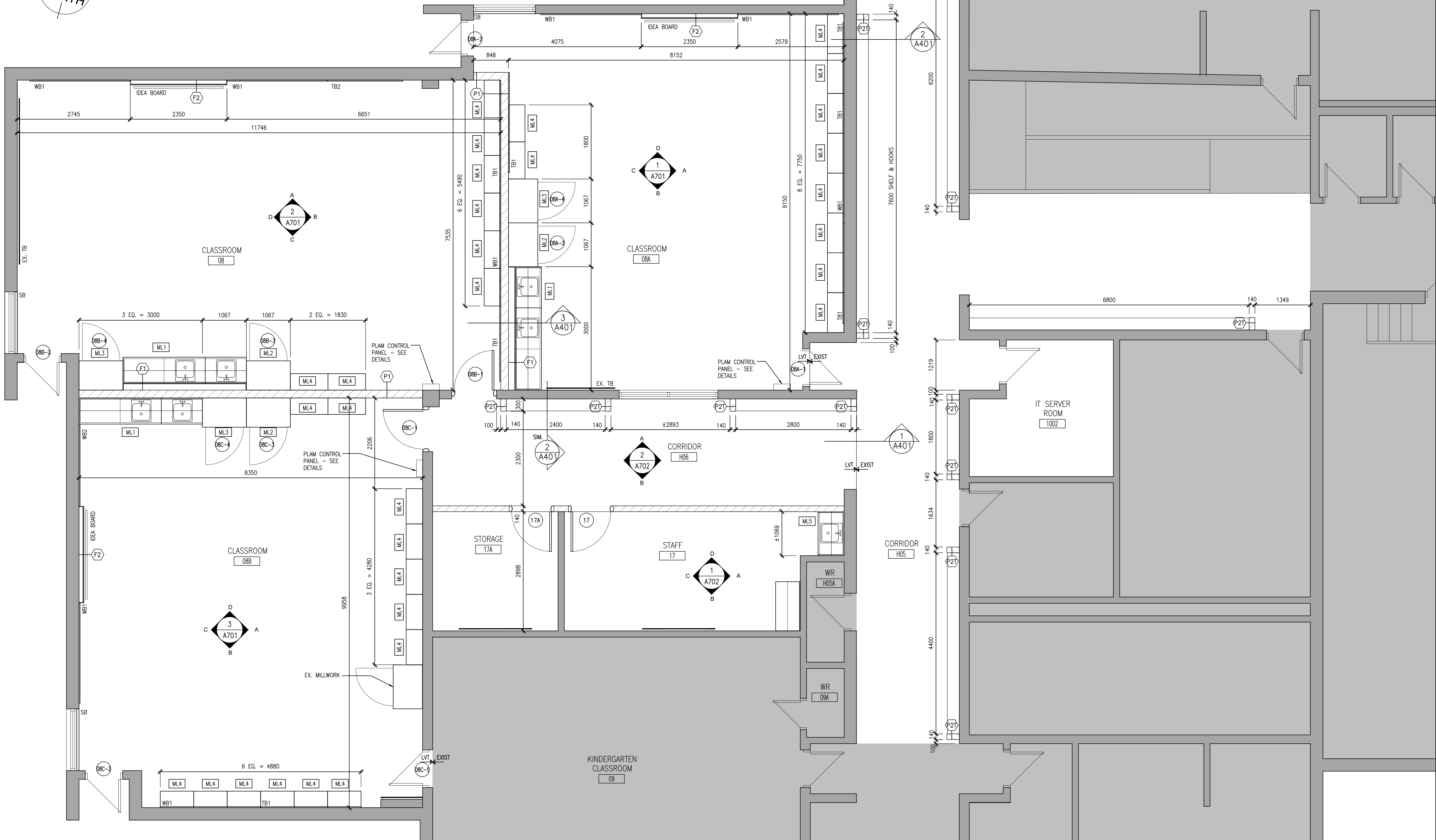
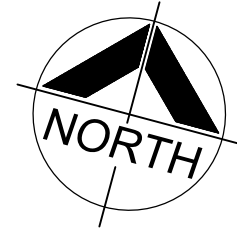
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654 Station Road, Colborne, ON
KPRDSB - GRAPTON PUBLIC SCHOOL

DRAWING:
PART FIRST FLOOR
CEILING DEMOLITION PLAN



PROJECT NO:	DRAWING NO:
24006	A203



1 PART FIRST FLOOR PLAN
A204 1:50

FLOOR PLAN NOTATION LEGEND

CORRIDOR CA	ROOM NAME & NUMBER	PB BARRIER FREE DOOR OPERATOR PUSH BUTTON	D 1 A901 A INTERIOR ELEVATION REFERENCE NUMBER
WXY EXTERIOR WALL TYPE		PL PUSH TO LOCK PUSH BUTTON	
PXY INTERIOR PARTITION OR FURRING TYPE		EM EMERGENCY ASSISTANCE CALL BUTTON	
G01 EXTERIOR GLAZING NUMBER		DOOR WITH DOOR OPERATOR	F.R.R. FIRE RESISTANCE RATING
SC01 INTERIOR GLAZED SCREEN NUMBER		WALL SECTION REFERENCE	FE FIRE EXTINGUISHER
101 DOOR NUMBER			FEC FIRE EXTINGUISHER CABINET
MW-1 MILLWORK NUMBER		BUILDING SECTION/ EXTERIOR ELEVATION REFERENCE	WHITEBOARD - REFER TO ELEVATIONS FOR SIZING & QUANTITIES

PARTITION & FURRING TYPES

P1	190mm CONCRETE BLOCK
P2	140mm CONCRETE BLOCK
F1	13mm GYPSUM BOARD 152mm STEEL STUDS @ 400mm O.C.
F2	13mm GYPSUM BOARD 13mm PLYWOOD 92mm STEEL STUDS @ 400mm O.C.

PARTITION & FURRING NOTES

- A "T" DESIGNATION (ie. "P6T") INDICATES LOW PARTITION (+1500mm HIGH).
- UNLESS OTHERWISE NOTED, ALL PARTITIONS TERMINATE AT UNDERSIDE OF METAL ROOF DECK ABOVE.
- PROVIDE MOISTURE RESISTANT GYPSUM BOARD IN ALL WET AREAS. WET AREAS ARE DEFINED AS WASHROOMS, KITCHEN, VESTIBULES AND CUSTODIAN ROOMS.
- ALL GYPSUM BOARD BULKHEADS / PARTITIONS ABOVE WALL OPENINGS OR SCREENS TO BE BRACED AS REQUIRED.
- PROVIDE BLOCKING / REINFORCEMENT FOR THE INSTALLATION / ATTACHMENT OF ALL MILLWORK, CABINETRY, CHANGE TABLES, WASHROOM ACCESSORIES AND/OR FIXTURES & EQUIPMENT INCLUDING FUTURE OR N.I.C. ITEMS AS REQUIRED.

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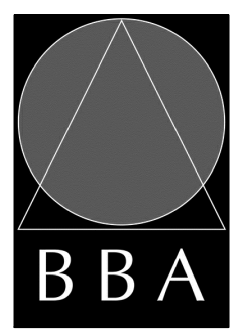
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PROJECT:
**GRAFTON PUBLIC SCHOOL
INTERIOR RENOVATIONS**

654 Station Road, Colborne, ON
KPRDSB - GRAPTON PUBLIC SCHOOL

DRAWING:
PART FIRST FLOOR PLAN

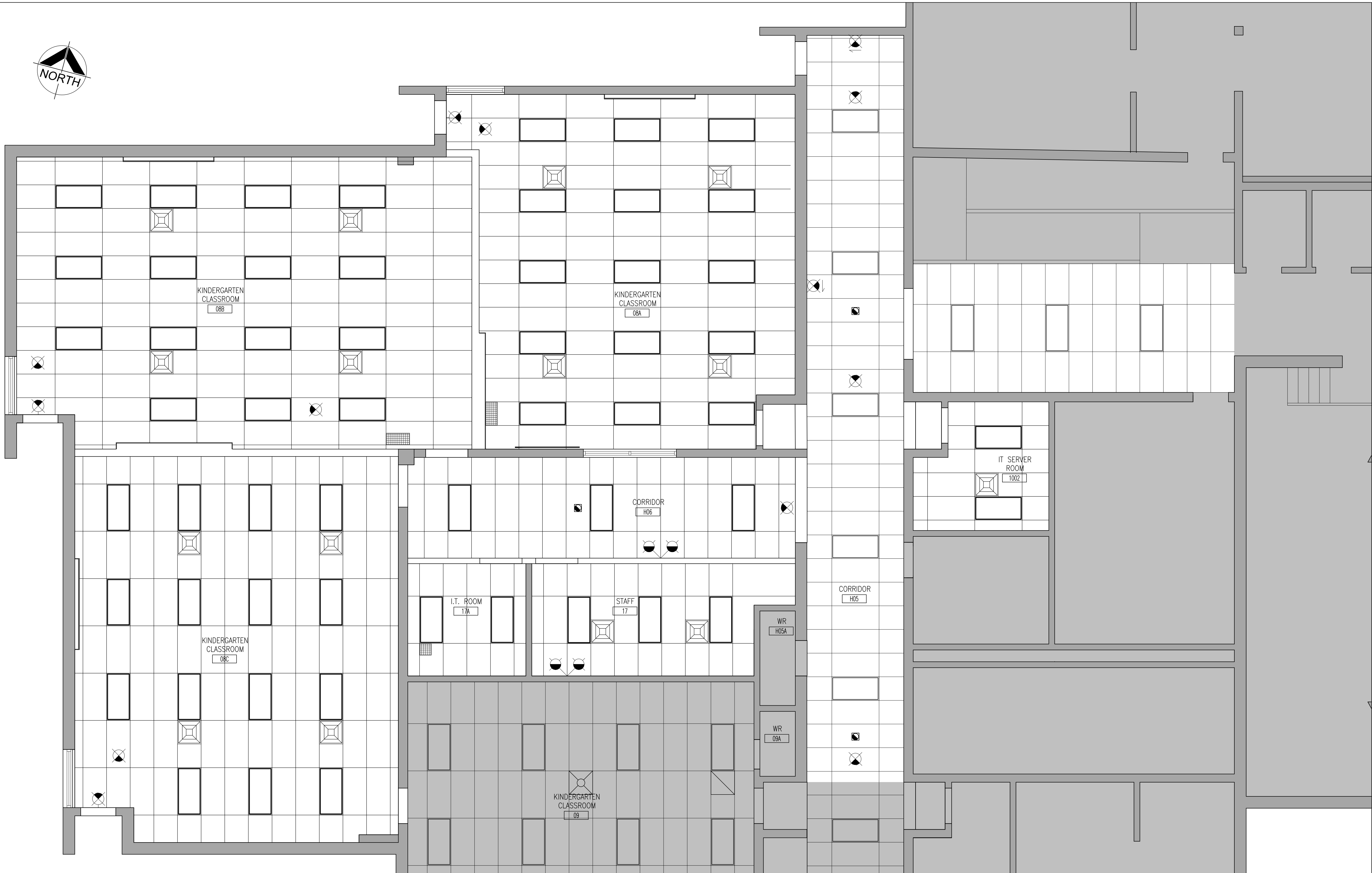
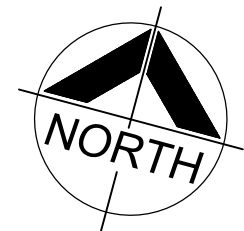


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DATE: NOV. 2023	SCALE: 1:50
FILE:	

PROJECT NO:
24006

DRAWING NO:
A204



1 PART FIRST FLOOR REFLECTED CEILING PLAN
A205 1:50

CEILING PLAN NOTATION LEGEND

	CEILING TYPE (REFER TO CEILING TYPE LEGEND, ROOM FINISH SCHEDULE & SPECIFICATION)		CEILING OR WALL MOUNTED EXIT LIGHT		CEILING DIFFUSER
	CEILING LEVEL ABOVE FINISHED FLOOR (SEE ALSO ROOM FINISH SCHEDULE)		SMOKE DETECTOR		CEILING DIFFUSER
	RECESSED LIGHT FIXTURES		SPRINKLER HEAD		
	RETURN AIR GRILLE. SIZES VARY				

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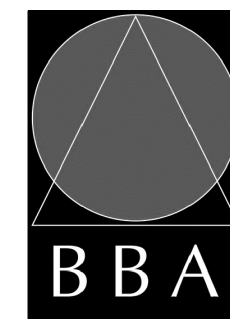
NO.	ISSUES	DATE	BY
1	ISSUED FOR TENDER	MAR. 13, 2024	BBA

NO.	REVISIONS	DATE	BY
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PROJECT:
**GRAFTON PUBLIC SCHOOL
INTERIOR RENOVATIONS**

654 Station Road, Colborne, ON
KPRDSB - GRAPTON PUBLIC SCHOOL

DRAWING:
**PART FIRST FLOOR
REFLECTED CEILING PLAN**



BARRY BRYAN ASSOCIATES
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Engineers
Project Managers
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Fax: (905) 666-6256
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DATE: NOV. 2023	
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FILE:	

PROJECT NO:
24006

DRAWING NO:
A205



INTERIOR ELEVATIONS - CLASSROOM 08B




1:50



IN



Kawartha Pine Ridge
District School Board

[illegible]

PROJECT NO:
24006

DRAWING NO:
A701

[illegible]

ABBREVIATION LEGEND

ACP	ACOUSTIC CEILING PANEL
ALUM	ALUMINUM
ANOD	ANODIZED
CB	CONCRETE BLOCK
CONC	CONCRETE
CONT	CONTINUE
CT	CERAMIC TILE
EXIST	EXISTING
EXP	EXPOSED
FRG	FIRE RESISTANT GLAZING
GL	GLASS
GB	GYPSSUM BOARD
HM	HOLLOW METAL
LVT	LUXURY VINYL TILE
NTS	NOT TO SCALE
PT	PAINT
PL	PLASTIC LAMINATE
PREFIN	PREFINISHED
PS	PRESSED STEEL
RB	RUBBER BASE
RT	RUBBER TILE FLOORING
SC	SEALED CONCRETE
SCW	SOLID CORE WOOD
TD	TEMPERED GLASS
URETH	URETHANE
VCT	VINYL COMPOSITION TILE

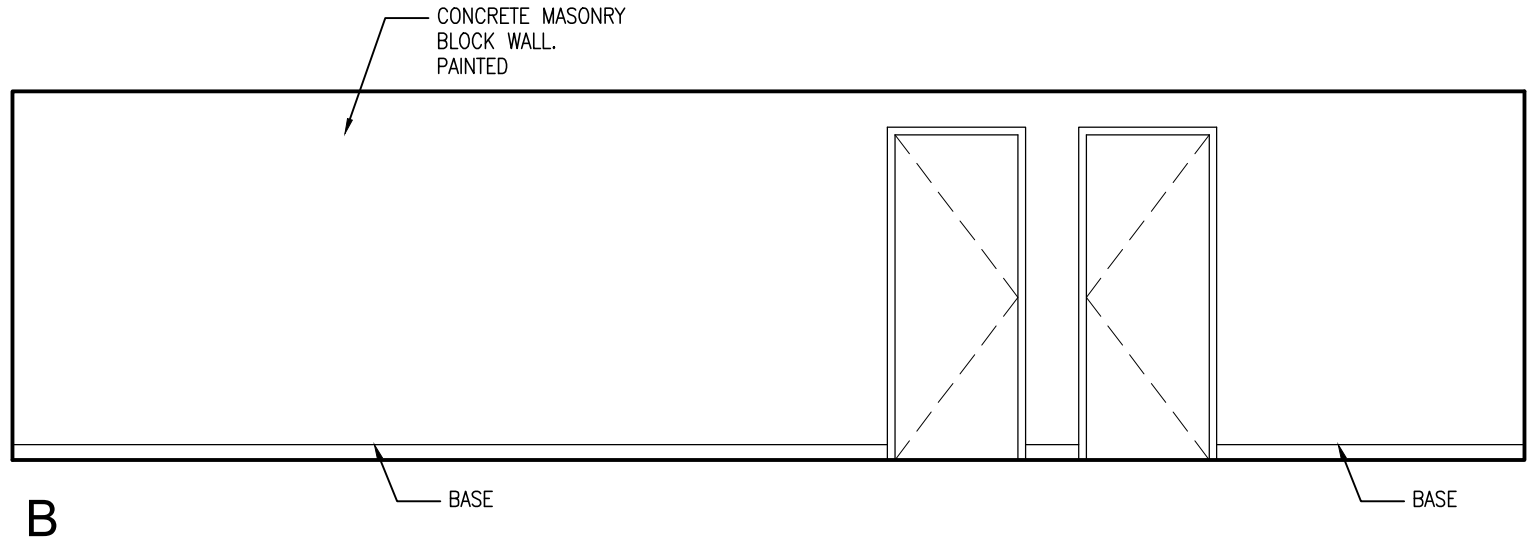
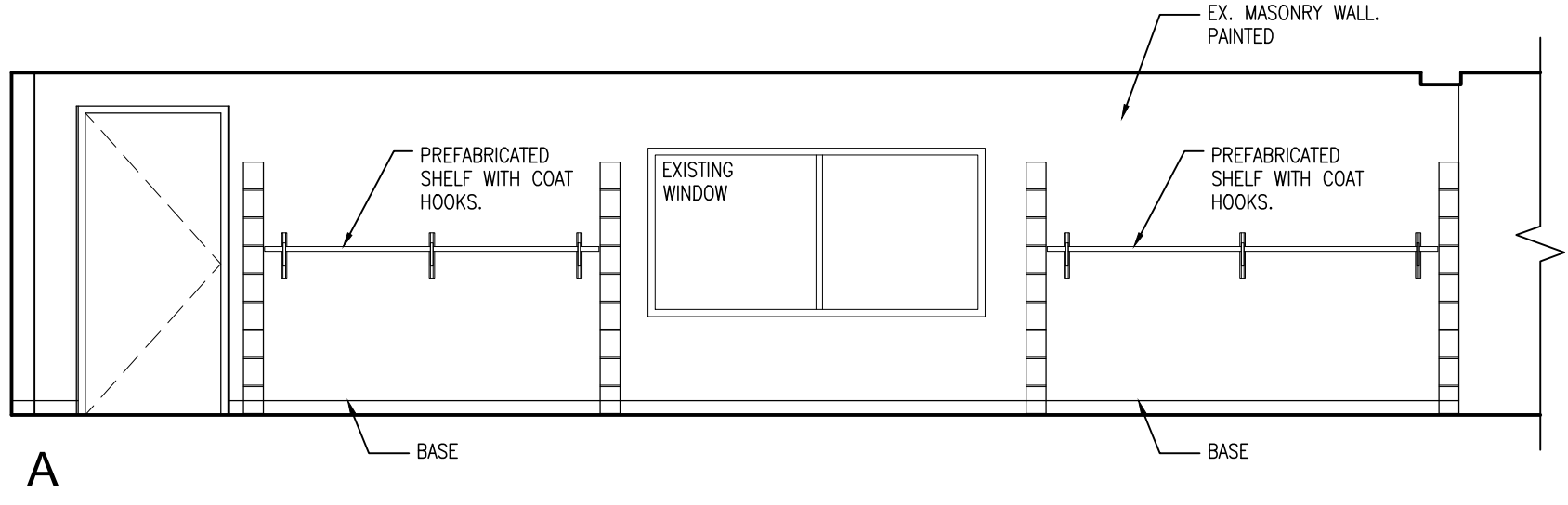
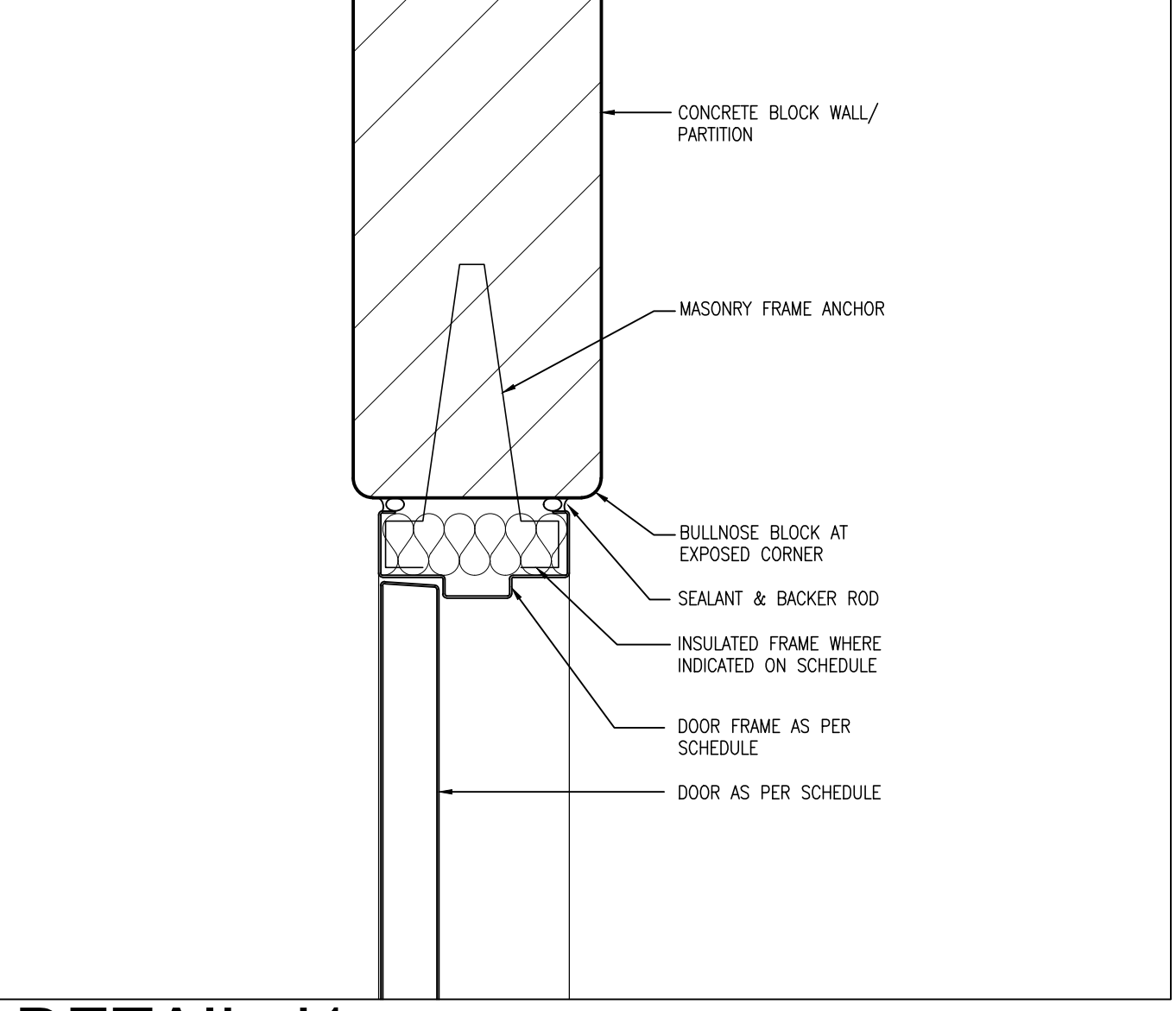
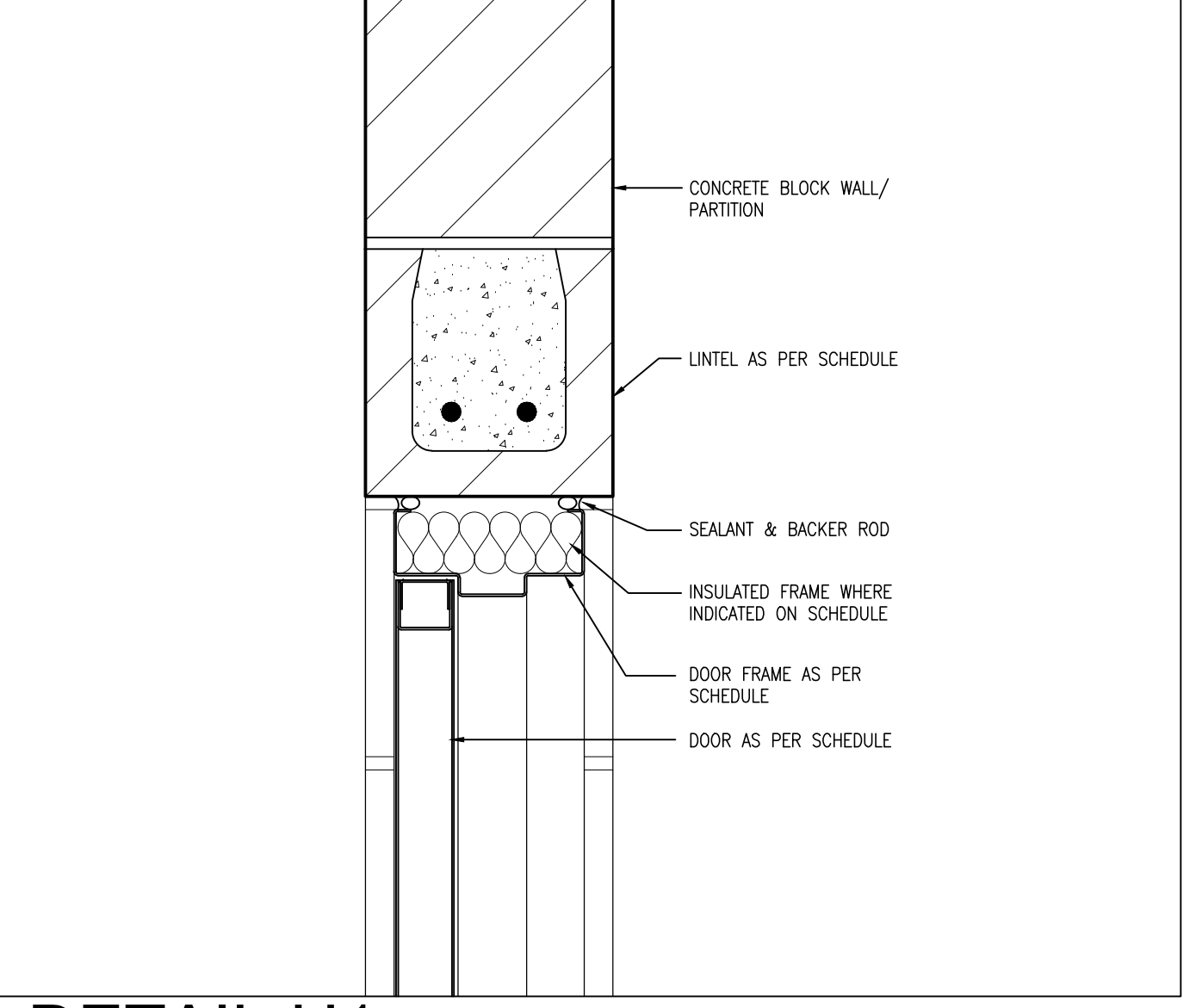
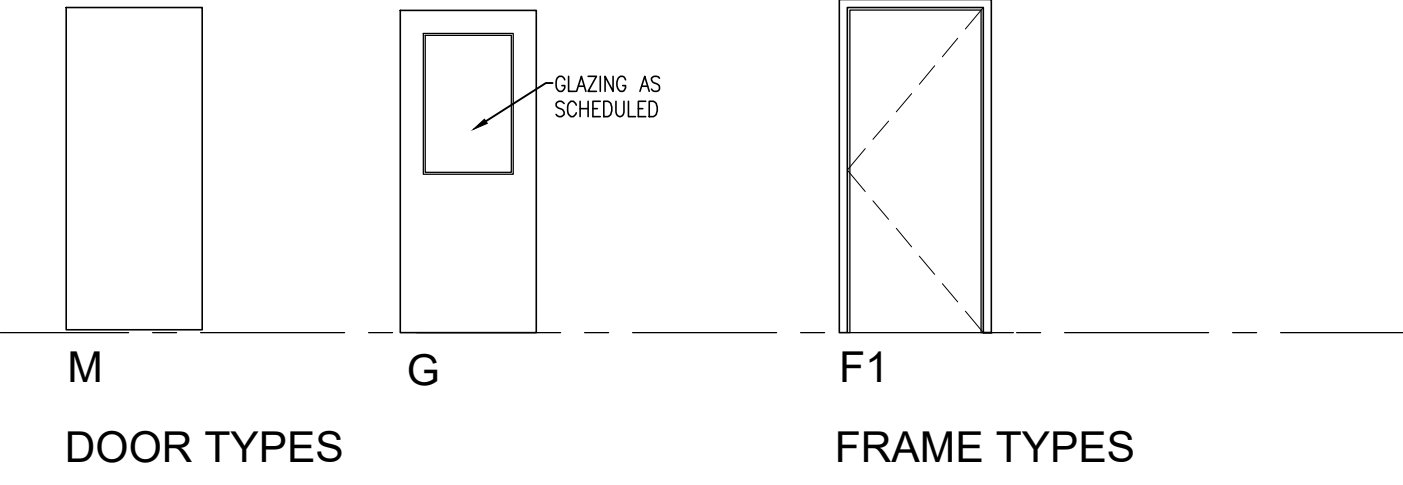
[illegible]

GENERAL NOTES

- A. GLASS PANELS IN DOORS TO COMPLY WITH BARRIER FREE VISIBILITY REQUIREMENTS.
- B. PREPARE DOORS AND FRAMES FOR ELECTRONIC HARDWARE WHERE INDICATED. CONDUITS SHALL BE CONCEALED IN FRAMES.

GLAZING LEGEND

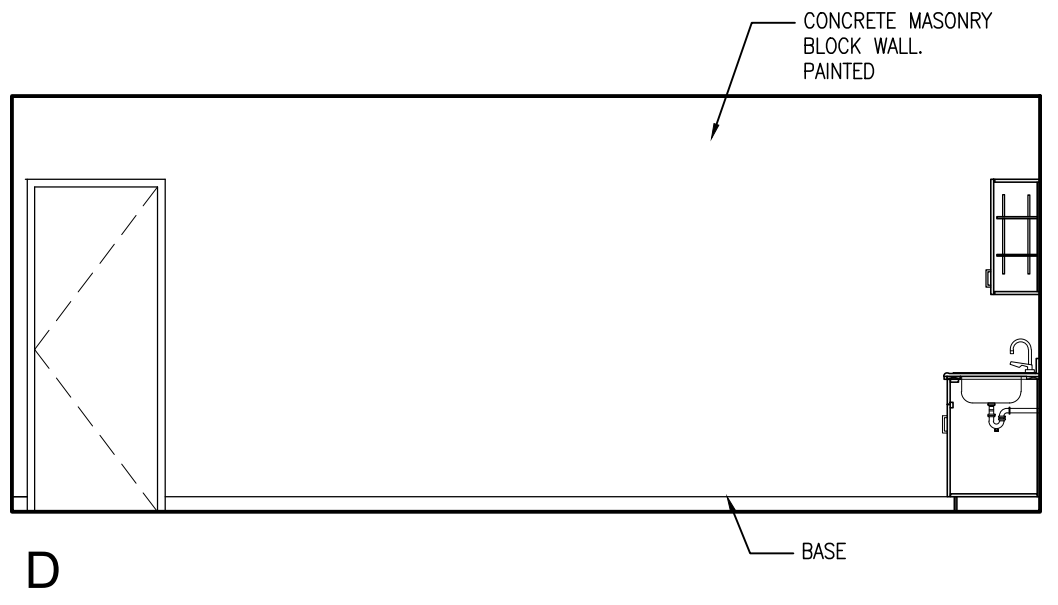
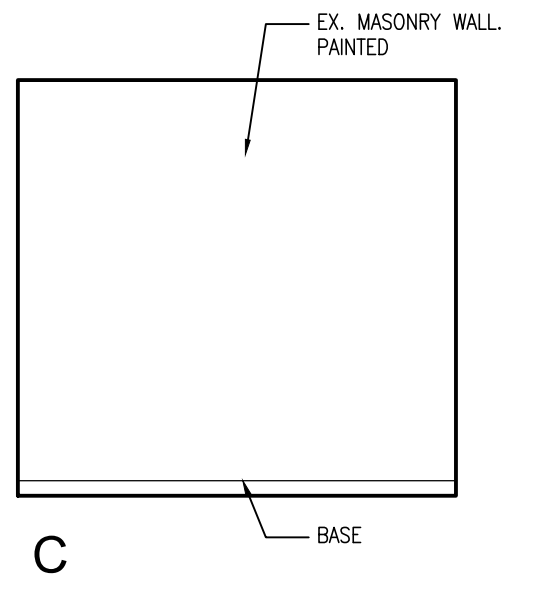
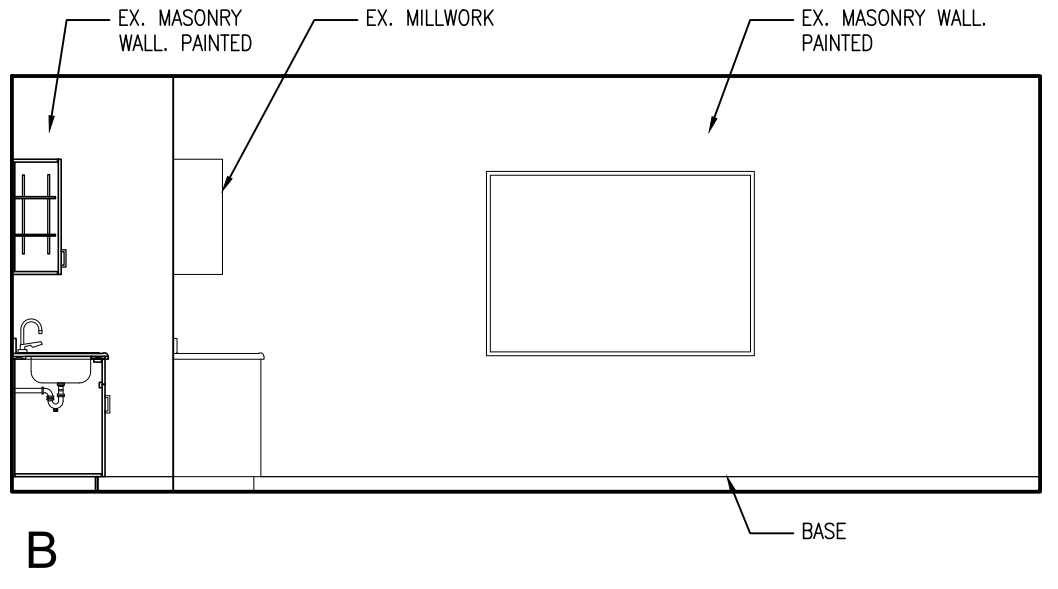
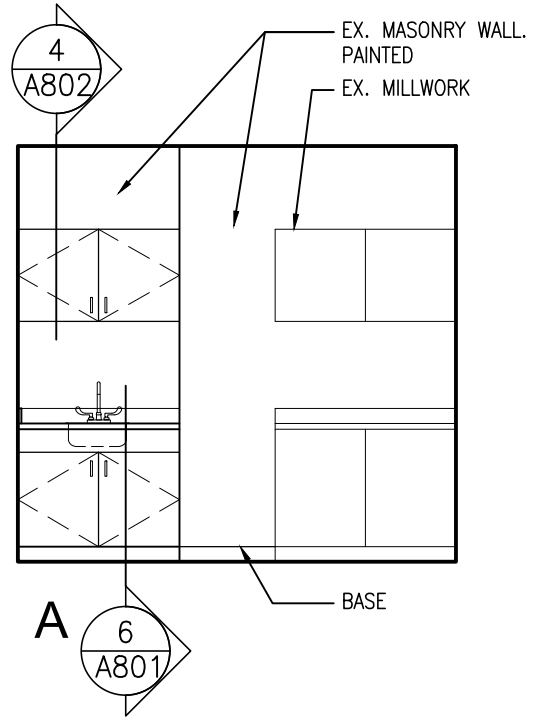
TC	TEMPERED GLASS
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2
A702

INTERIOR ELEVATIONS - CORRIDOR H06

1:50



1
A702

INTERIOR ELEVATIONS - STAFF 17

1:50

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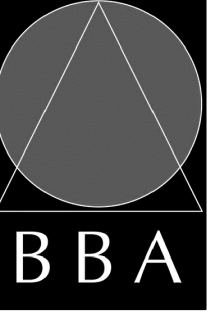
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PROJECT:

**GRAFTON PUBLIC SCHOOL
INTERIOR RENOVATIONS**

654 Station Road, Colborne, ON
KPRDSB - GRAPTON PUBLIC SCHOOL

DRAWING:
INTERIOR ELEVATIONS &
SCHEDULES



**BARRY BRYAN
ASSOCIATES**

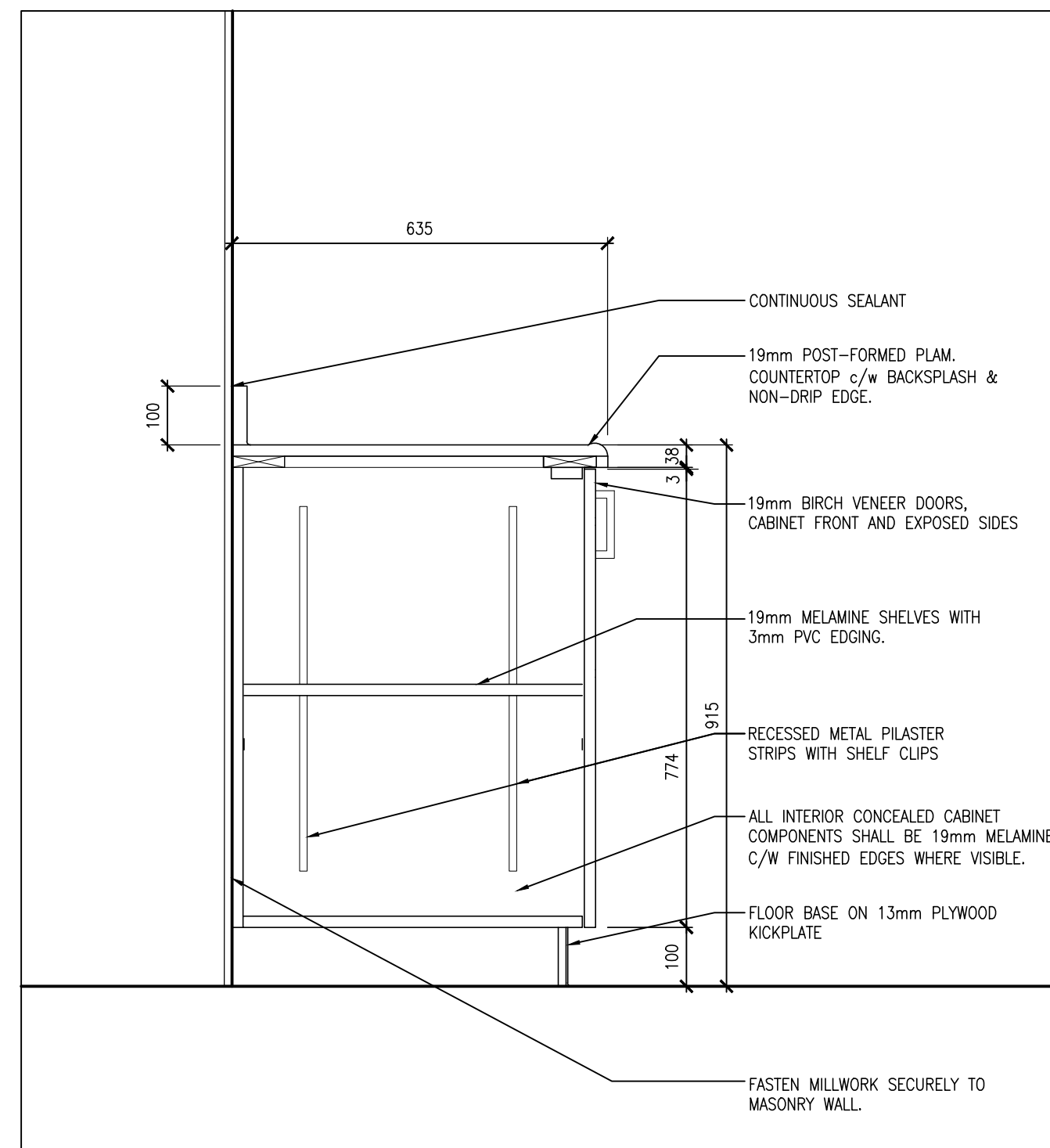
*Architects
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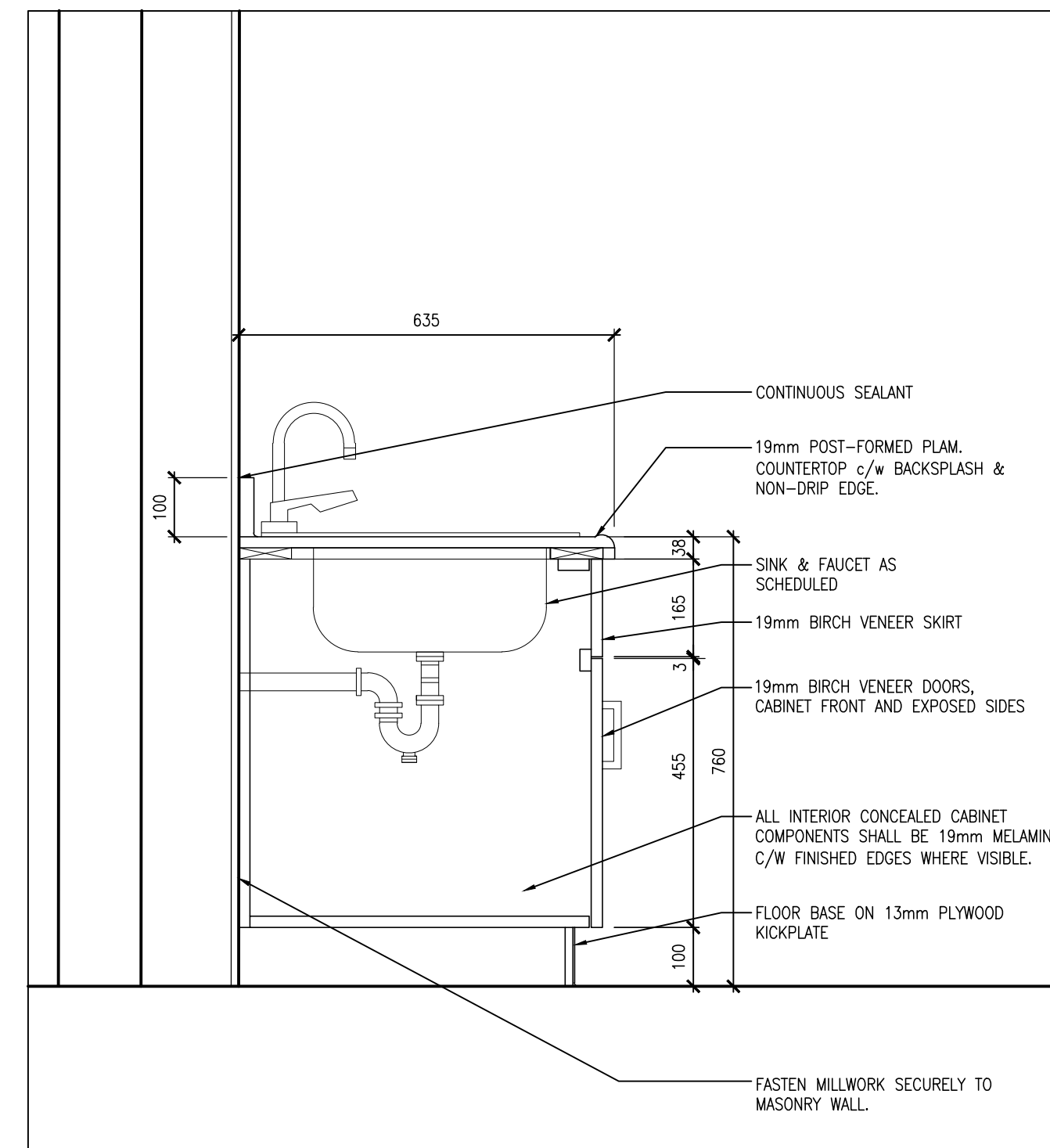
Tel: (905) 666-5252
Fax: (905) 666-5256
e-mail: bba@bbe-archeng.com

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PROJECT NO: 24006	DRAWING NO: A702
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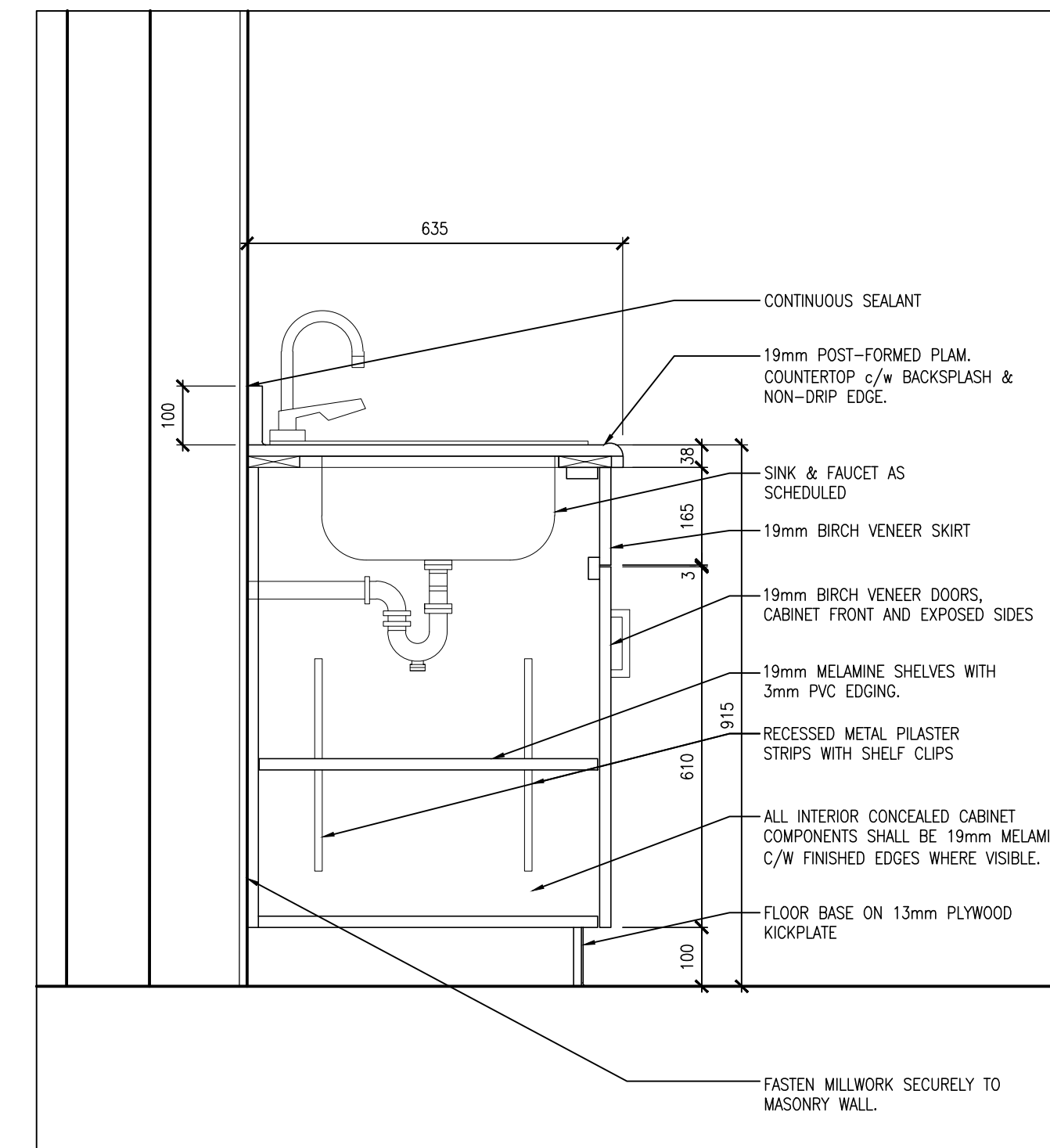


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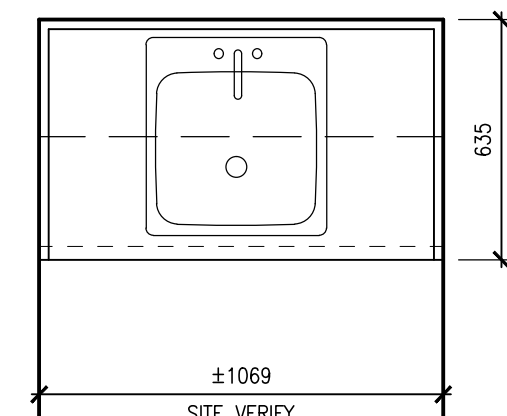


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A801

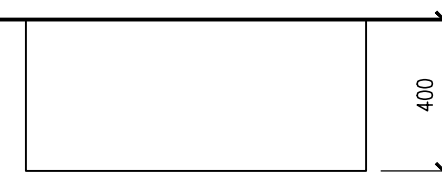
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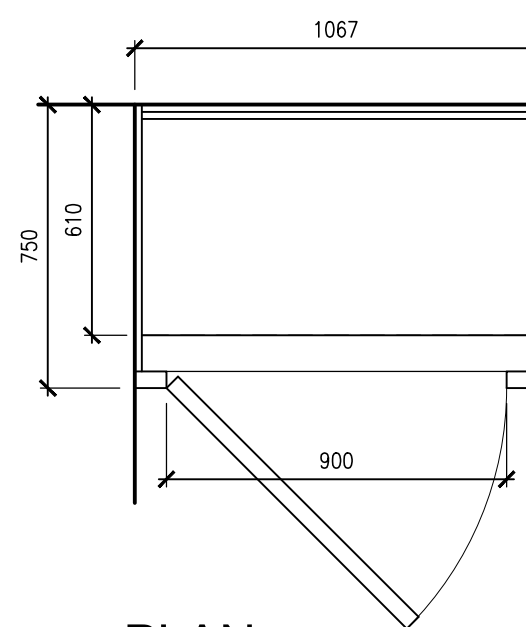
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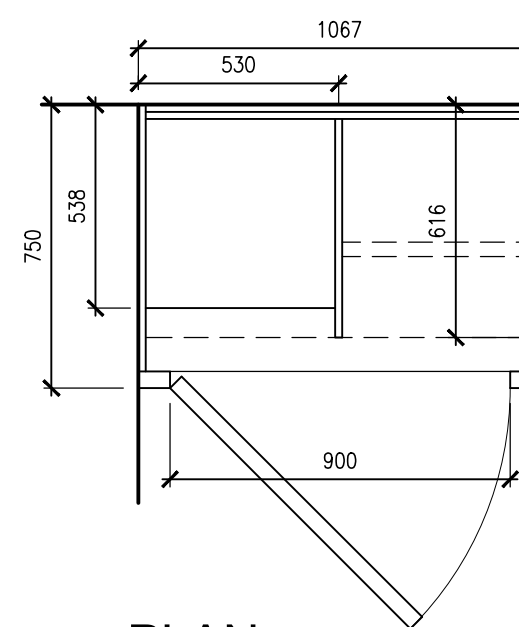
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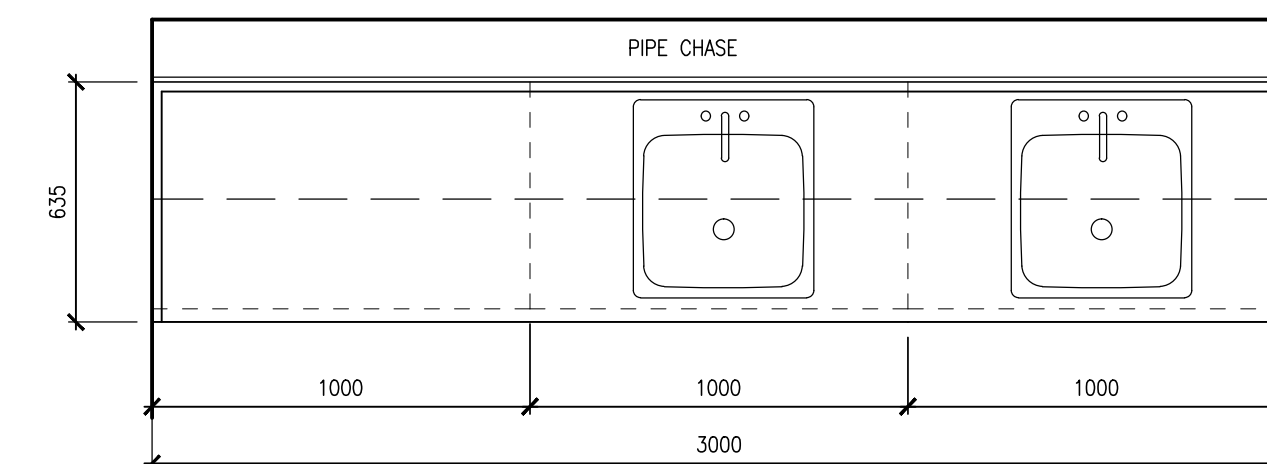
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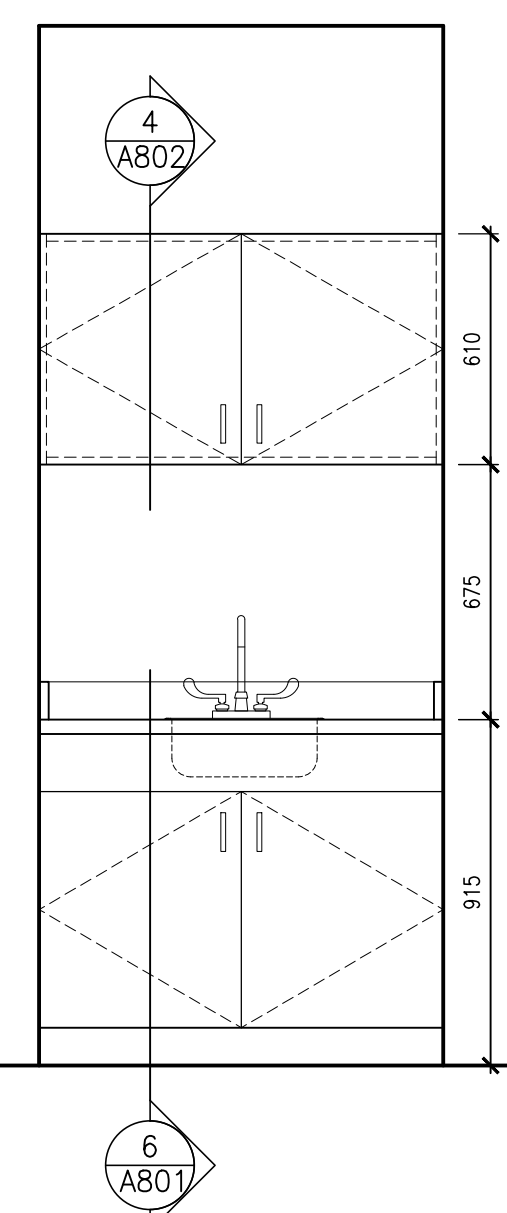
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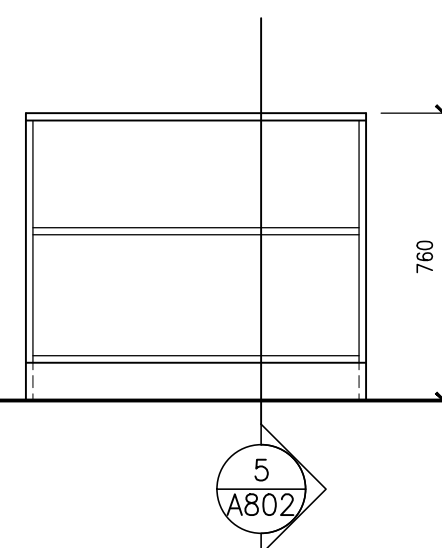
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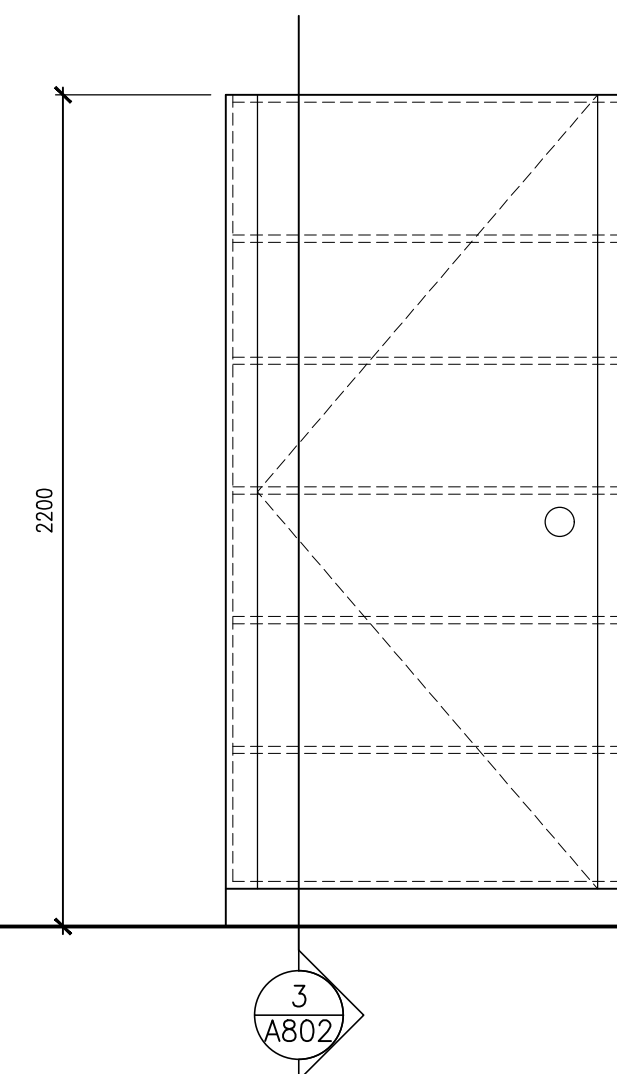
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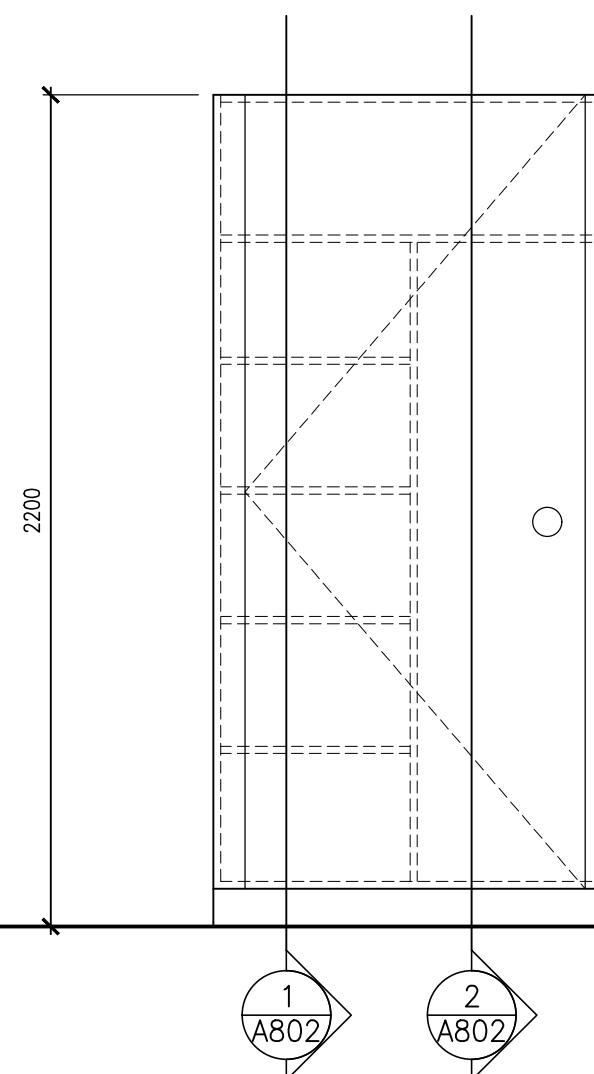
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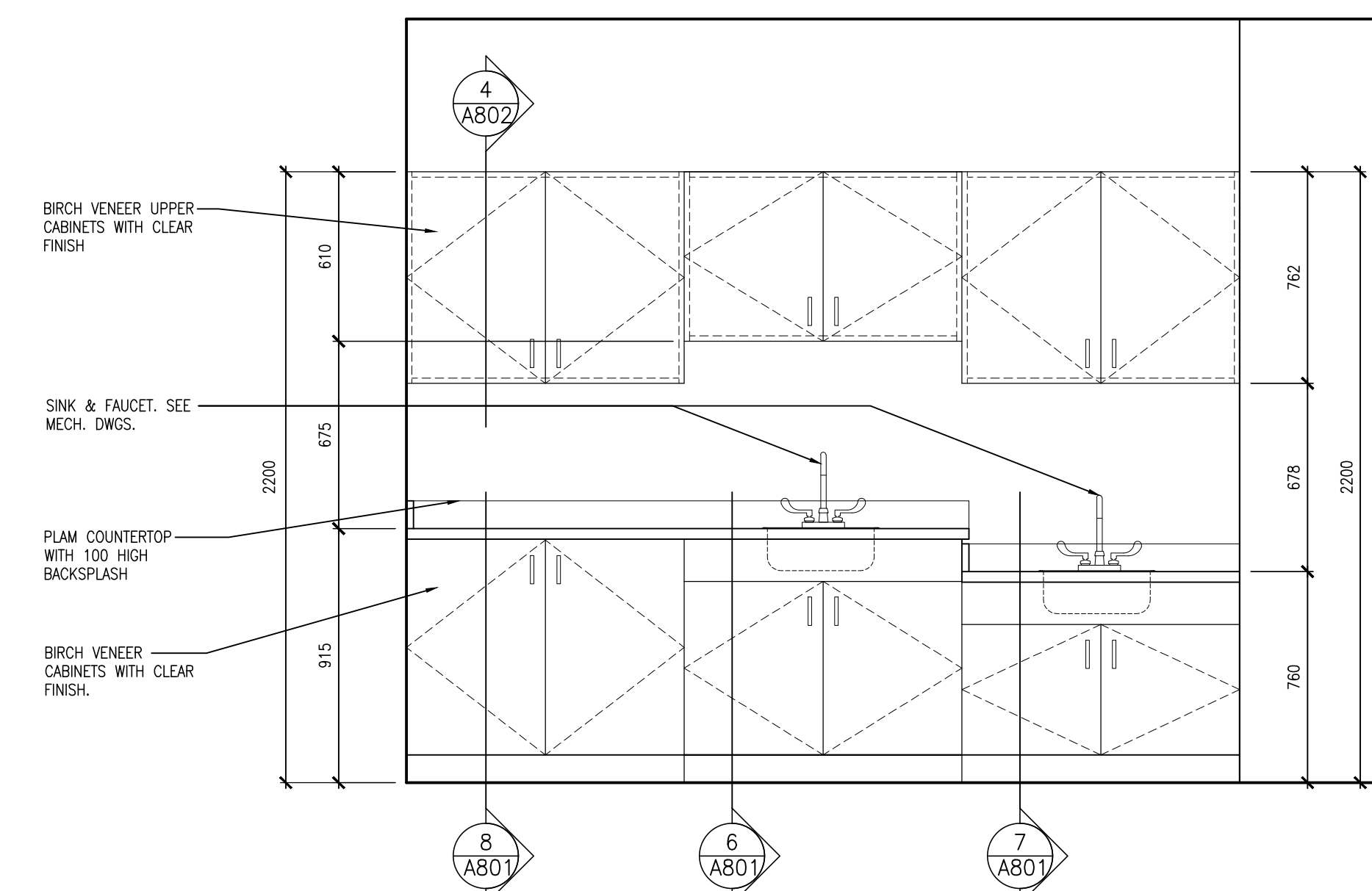
ELEVATION



ELEVATION



ELEVATION



ELEVATION

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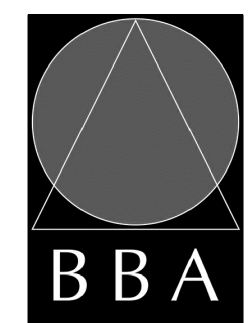
PROJECT:

**GRAFTON PUBLIC SCHOOL
INTERIOR RENOVATIONS**

654 Station Road, Colborne, ON
KPRDSB - GRAPTON PUBLIC SCHOOL

DRAWING:

MILLWORK PLANS AND ELEVATIONS



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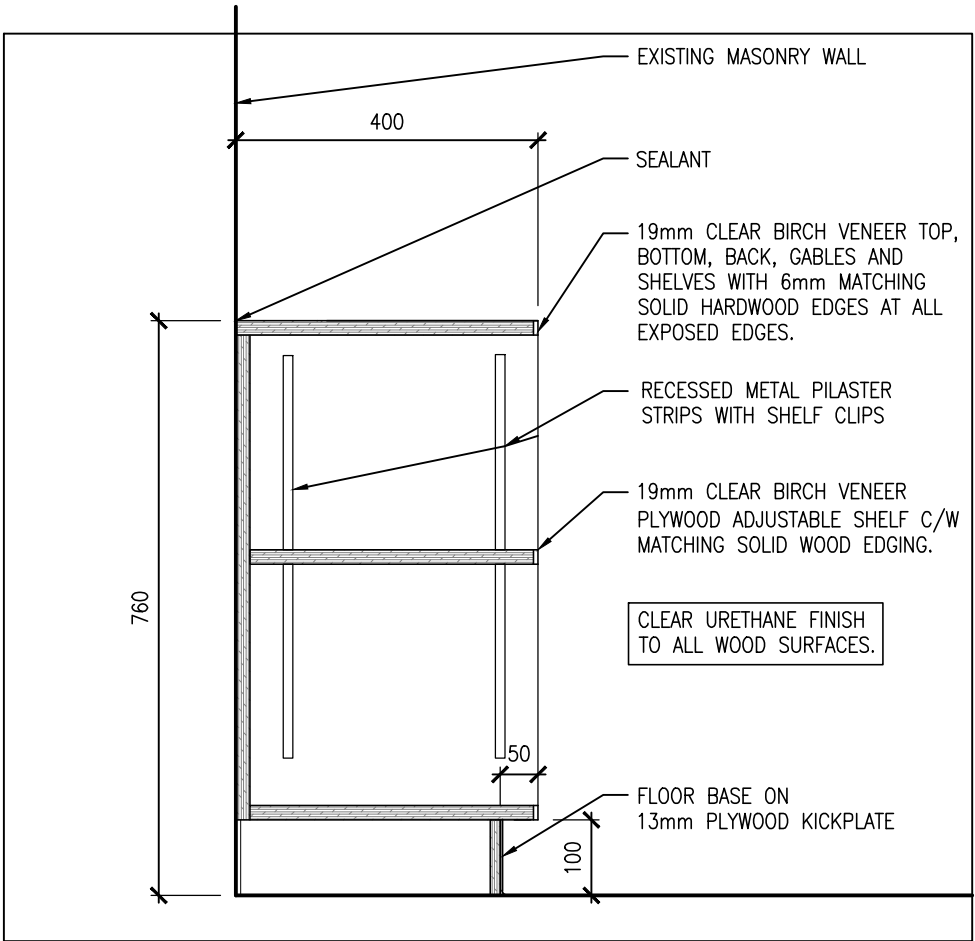
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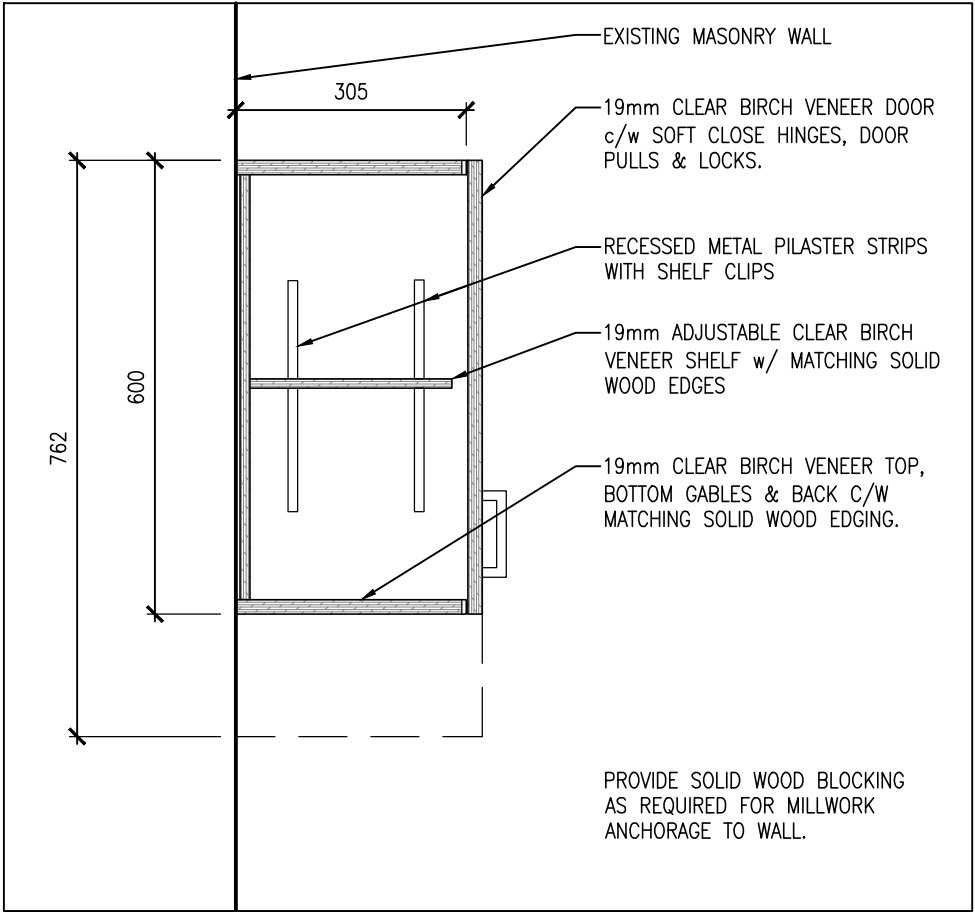
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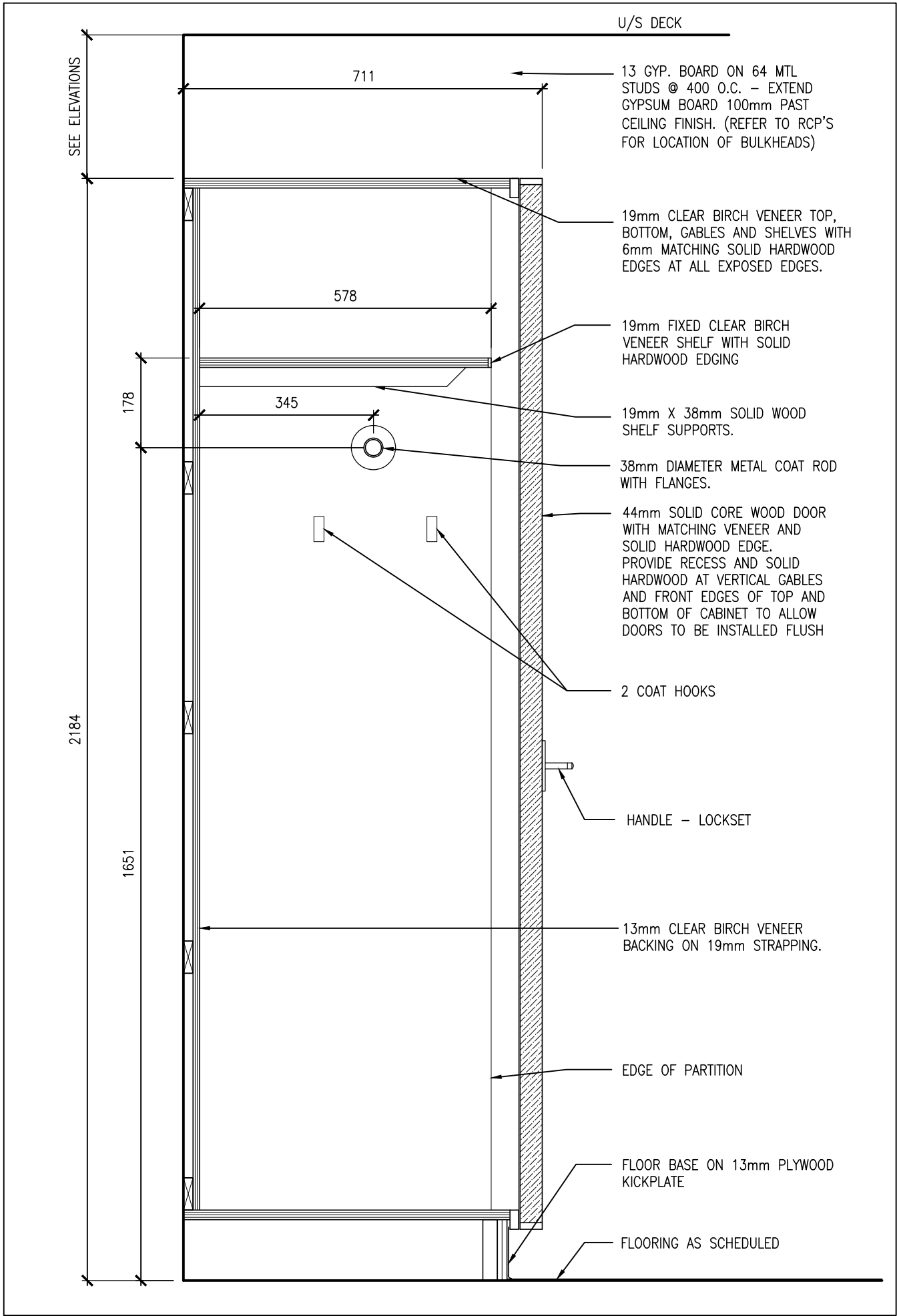
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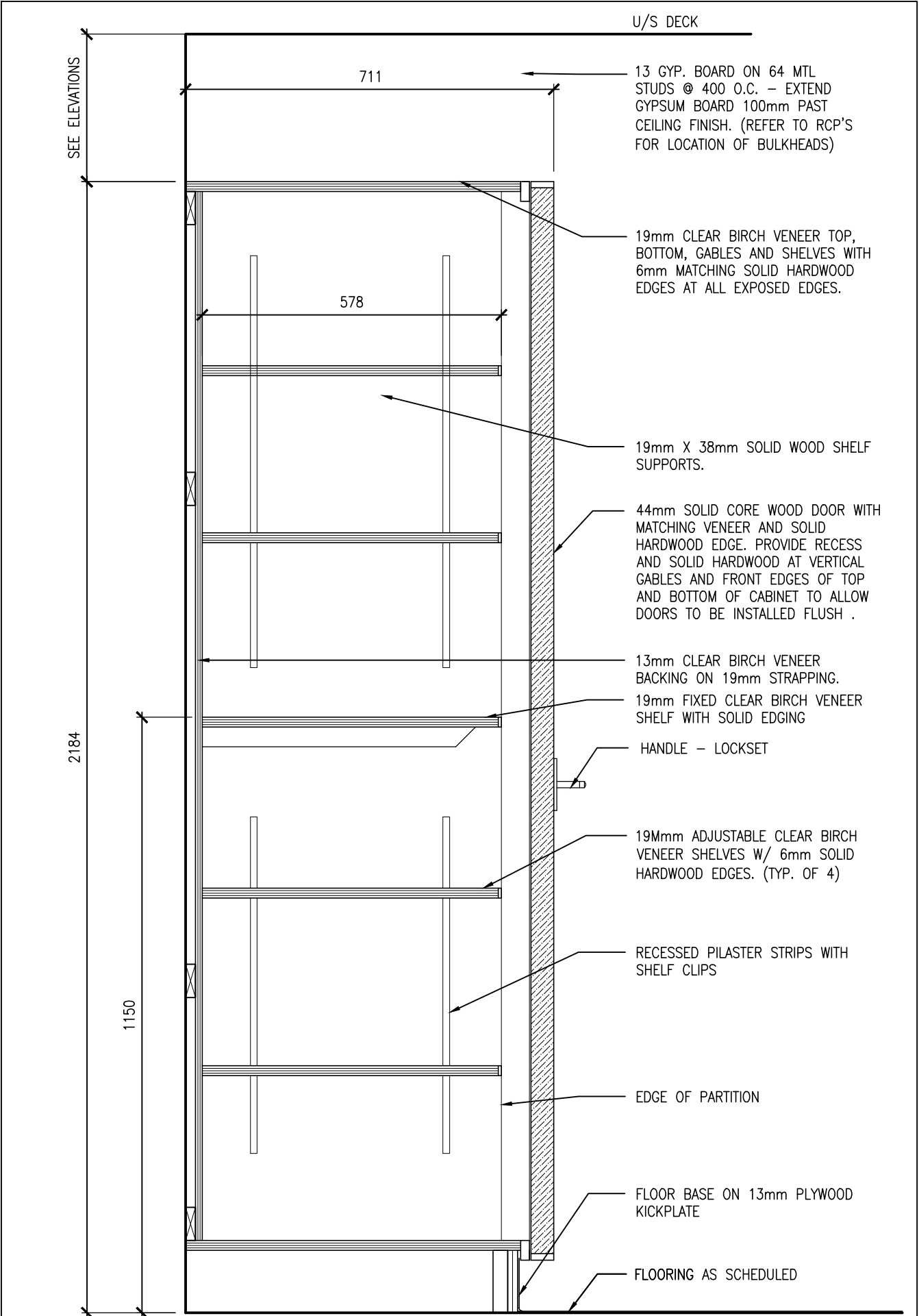
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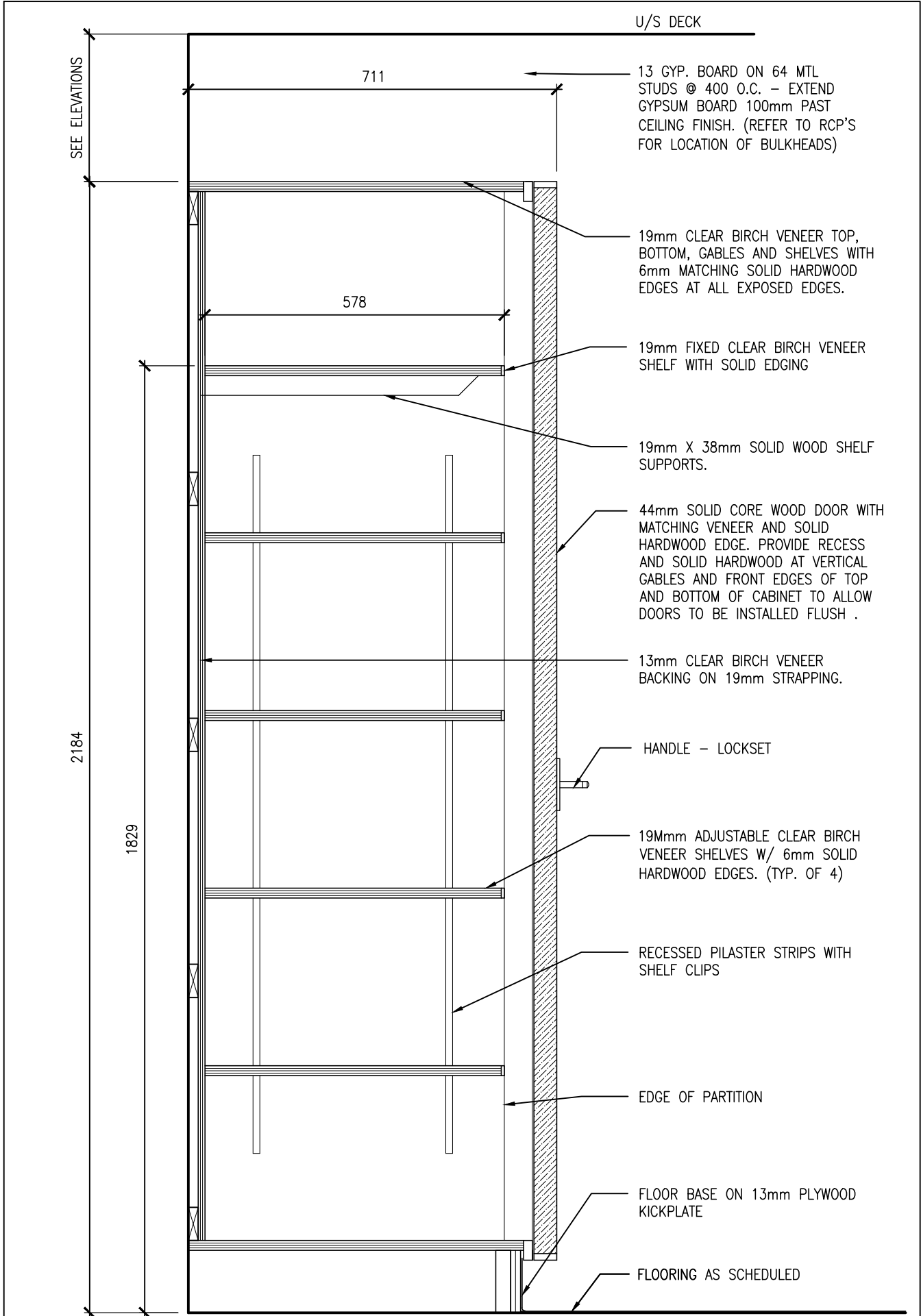
4 UPPER CABINET - SECTION
1:10



2 TEACHERS CABINET ML2 - SECTION
1:10



3 STORAGE CABINET ML3 - SECTION
1:10



1 TEACHERS CABINET ML2 - SECTION
1:10

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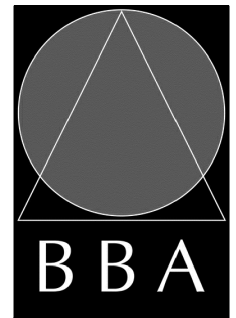
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PROJECT:
**GRAFTON PUBLIC SCHOOL
INTERIOR RENOVATIONS**

654 Station Road, Colborne, ON
KPRDSB - GRAPTON PUBLIC SCHOOL

DRAWING:
MILLWORK DETAILS



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FILE:

PROJECT NO: 24006	DRAWING NO: A802
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GROUND FLOOR KEY PLAN
SCALE: N.T.S.

- ALL DRAWINGS ARE TO BE READ IN CONJUNCTION WITH THE PREPARED SPECIFICATION.
- UPON COMPLETION OF THE PROJECT OR UPON COMPLETION OF EACH INDIVIDUAL PHASE OF THE PROJECT THE CONTRACTORS SHALL PROVIDE THE FOLLOWING CERTIFICATES BEFORE CONFORMANCE LETTERS ARE ISSUED BY THE CONSULTANT:
 - POTABLE WATER TEST (SEE SPEC 22 11 16 PART 3)
- ALL CERTIFICATES ARE TO BE SUBMITTED TOGETHER IN A SINGLE PACKAGE.

Item	Description	Item	Description	Item	Description
	ITEM TO BE REMOVED		REDUCER/INCREASER		TURNING VANES
	CUT EXISTING & CONNECT NEW PIPING		UNION		SUPPLY AIR DUCT
	FLOW DIRECTION		STRAINER		RETURN/EXHAUST AIR DUCT
	POTABLE COLD WATER		PRESSURE & TEMPERATURE TEST STATION		ACOUSTIC DUCT LINING
	POTABLE HOT WATER		VACUUM BREAKER		THERMAL INSULATION
	POTABLE HOT WATER RECIRC.		SCREWED OR WELDED PIPE CAP		BRANCH LINE SPIN-IN COLLAR C/W BALANCING DAMPER
	EXISTING SAN ABOVE FLOOR		NORMALLY OPEN		TRUNK MAIN BRANCH COLLAR C/W BALANCING DAMPER
	EXISTING SAN BELOW FLOOR		NORMALLY CLOSED		BALANCING DAMPER
	SANITARY ABOVE FLOOR		PLUG VALVE		OPPOSED BLADE DAMPER
	SANITARY BELOW FLOOR		BALL VALVE		MOTORIZED DAMPER
	EXISTING STM ABOVE FLOOR		BUTTERFLY VALVE		FIRE DAMPER
	EXISTING STM BELOW FLOOR		GATE VALVE		FIRE/SMOKE DAMPER
	STORM ABOVE FLOOR		WATER METER		RECTANGULAR DUCTWORK
	STORM BELOW FLOOR		FLOOR CLEANOUT		RIGID ROUND DUCT
	CONDENSATE DRAIN		LINE CLEANOUT		FLEXIBLE ROUND DUCT
	VENT		PRESSURE REDUCING VALVE		DIFFUSER/GRILLE SIZE (imp), TYPE & CAPACITY (cfm)
	FLOOR DRAIN		3-WAY MIXING VALVE		HYDRONIC HEATING SIZE, TYPE & CAPACITY
	TRAP PRIMER		VALVE ON RISER		ACCESS DOOR
	TEE CONNECTION		BALANCING VALVE		EXPANSION JOINT
	PIPE DOWN		INLINE PUMP		RETURN IN CABINET
	PIPE UP		2-WAY TEMPERATURE CONTROL VALVE		ABOVE FINISHED FLOOR
	SIGHT GLASS		3-WAY TEMPERATURE CONTROL VALVE		ABOVE FINISHED ROOF
	FLEXIBLE CONNECTION		THERMOSTAT (WITH GUARD WHERE INDICATED)		EXISTING DUCT (SIZE AS INDICATED)

Item	Type	Size	Capacity MBH	EWT °F	LWT °F	EAT °F	Manufacturer & Model	Remarks
H-1	RADIATION	AS NOTED	AS NOTED	150	130	70	ENG AIR WF-1A	2 ROW, 18" HIGH CABINET BOTTOM MOUNTED AT 6"-8" AFF

Item	Size	Nominal cfm	EW °F	LWT °F	EA °F	LAT °F	Capacity MBH	Flow gpm	Manufacturer	Remarks
RH-101	450x250	800	150	130	75	95	17.3	1.73	ENG AIR	SIZE INDICATES FACE SIZE. SUPPORT UNIT FROM STRUCTURE
RH-102	150x150	150	150	130	75	95	3.24	.33	ENG AIR	SIZE INDICATES FACE SIZE. SUPPORT UNIT FROM STRUCTURE
RH-103	450x250	800	150	130	75	95	17.3	1.73	ENG AIR	SIZE INDICATES FACE SIZE. SUPPORT UNIT FROM STRUCTURE
RH-104	150x150	150	150	130	75	95	3.24	.33	ENG AIR	SIZE INDICATES FACE SIZE. SUPPORT UNIT FROM STRUCTURE
RH-105	450x250	800	150	130	75	95	17.3	1.73	ENG AIR	SIZE INDICATES FACE SIZE. SUPPORT UNIT FROM STRUCTURE
RH-106	150x150	150	150	130	75	95	3.24	.33	ENG AIR	SIZE INDICATES FACE SIZE. SUPPORT UNIT FROM STRUCTURE
RH-107	250x250	450	150	130	75	95	9.72	1.0	ENG AIR	SIZE INDICATES FACE SIZE. SUPPORT UNIT FROM STRUCTURE

[illegible]

Item	Type	Manufacturer & Model	Finish	Remarks
D1	SQUARE CEILING SUPPLY	KRUEGER 14100	BRITISH WHITE	4 CONE, STEEL, SLIDING ADJUSTMENT NOT ACCEPTABLE. C/W FIRE FLAP & FIRE BLANKET
D2	LINEAR SUPPLY	KRUEGER PFTBS	BRITISH WHITE	C/W 2 SLOT, FIRE RATED, INSULATED PLENUM SUITABLE FOR LAY IN T-BAR, 3/4" SLOT WIDTH. MITERED CORNERS W/ PLENUM. PROVIDE CONTINUOUS GRILLE WHERE NOTED
R1	CEILING RETURN	KRUEGER EGS	BRITISH WHITE	C/W CHANNEL FRAME & FIRE FLAP
R2	CEILING RETURN/EXHAUST	KRUEGER EGC5	BRITISH WHITE	C/W SCREWED FASTENING & FIRE FLAP

Item	Type	Exhaust Air Data			Voltage	Manufacturer & Model	Remarks
		Capacity (cfm)	Size hp	SP in. wg			
EF-101	CEILING MID EXHAUST FAN	150	Fhp	0.125	120/1/60	PENN BARRY ZSH	ACOUSTICALLY INSULATED STEEL HOUSING, CENTIFUGAL BLOWER WHEEL, 90° DISCHARGE OUTLET W/BACKDRAFT DAMPER, C/W WHITE PAINTED ENAMEL STEEL GRILLE, VIBRATION ISOLATORS. 1.8 SONES, C/W FIRE DAMPER
EF-102	CEILING MID EXHAUST FAN	200	Fhp	0.125	120/1/60	PENN BARRY ZSH	ACOUSTICALLY INSULATED STEEL HOUSING, CENTIFUGAL BLOWER WHEEL, 90° DISCHARGE OUTLET W/BACKDRAFT DAMPER, C/W WHITE PAINTED ENAMEL STEEL GRILLE, VIBRATION ISOLATORS. 1.8 SONES, C/W FIRE DAMPER

The contractor shall verify all dimensions and report all errors and discrepancies to the Consultant before commencement of the work.

The drawings show general arrangement of services. Follow us closely as actual building construction will permit. Obtain approval for relocation of service from Consultant before commencement of the work.

The drawings show all offsets fitting and accessories which may be required. Provide the same to meet the required conditions.

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NO.	ISSUES	DATE	BY
1	ISSUED FOR COORDINATION	07.02.24	MW
2	ISSUED FOR TENDER REVIEW	23.02.24	MW
3	ISSUED FOR TENDER	11.03.24	MW

[illegible]

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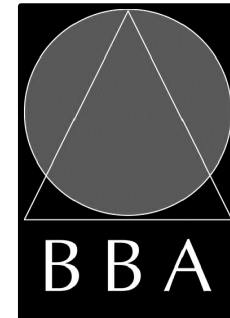
PROJECT:

GRAFTON PUBLIC SCHOOL INTERIOR RENOVATIONS

654 Station Road, Colborne, ON
KPRDSB - GRAFTON PUBLIC SCHOOL

DRAWING:

KEYPLAN, LEGENDS, AND SCHEDULES

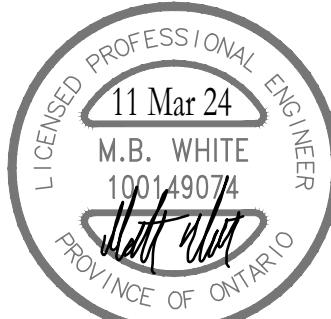


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DATE:
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AS NOTED

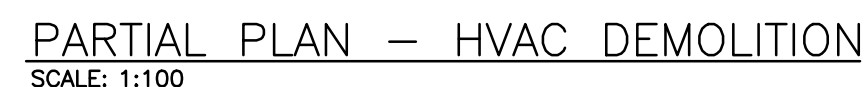
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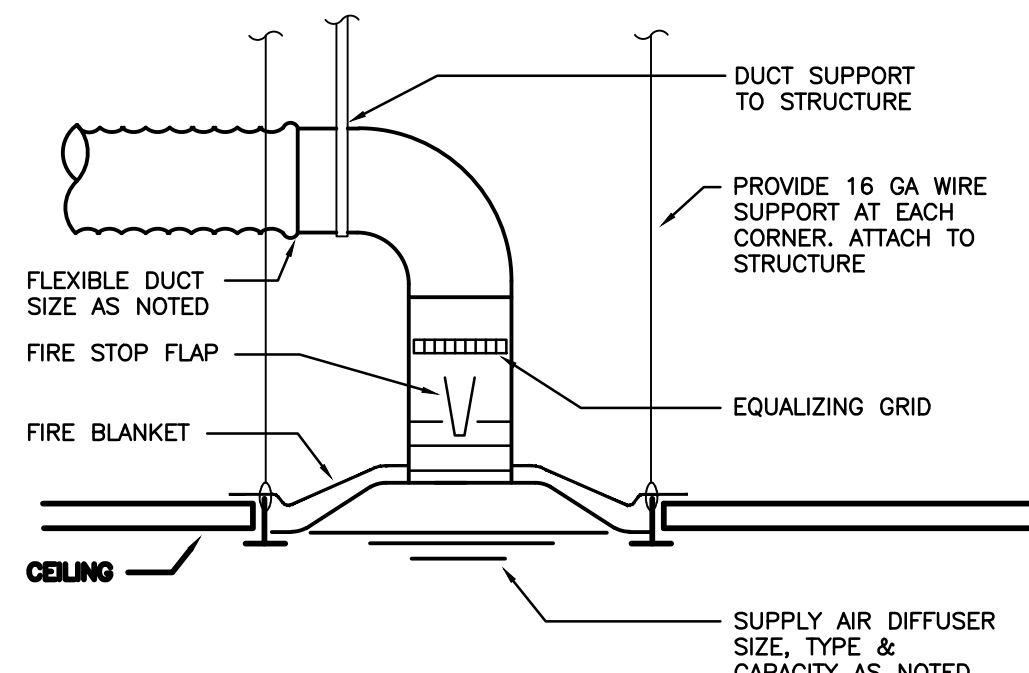
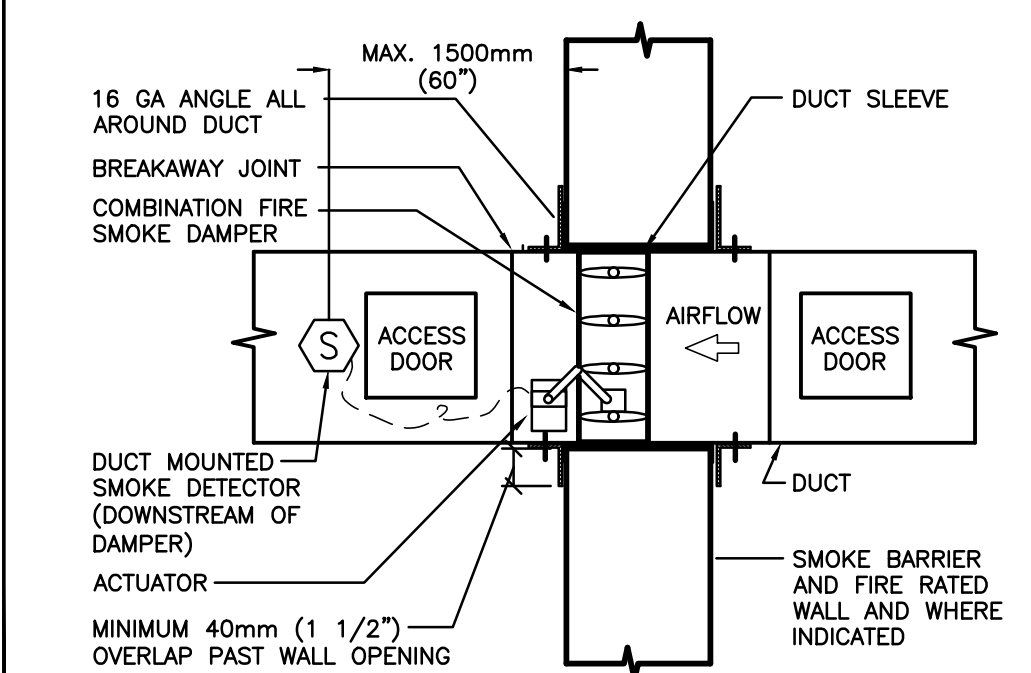
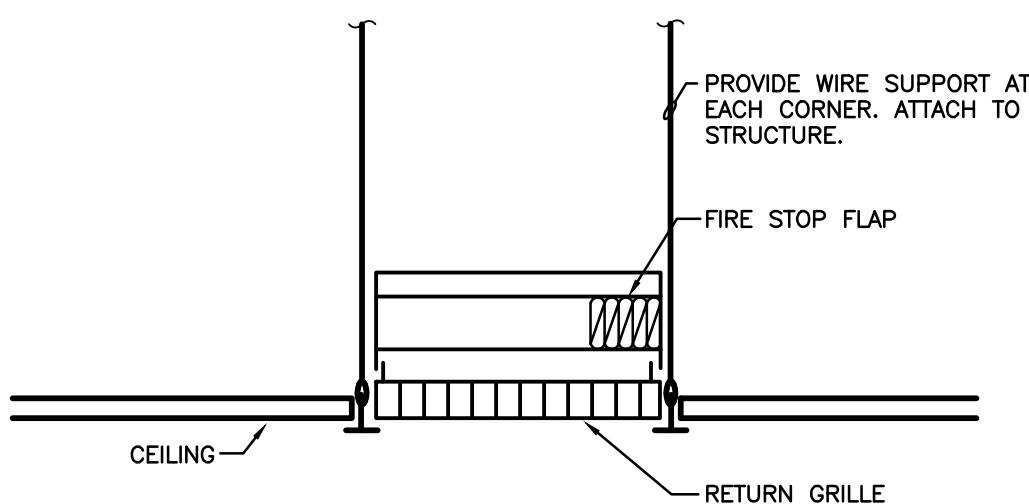
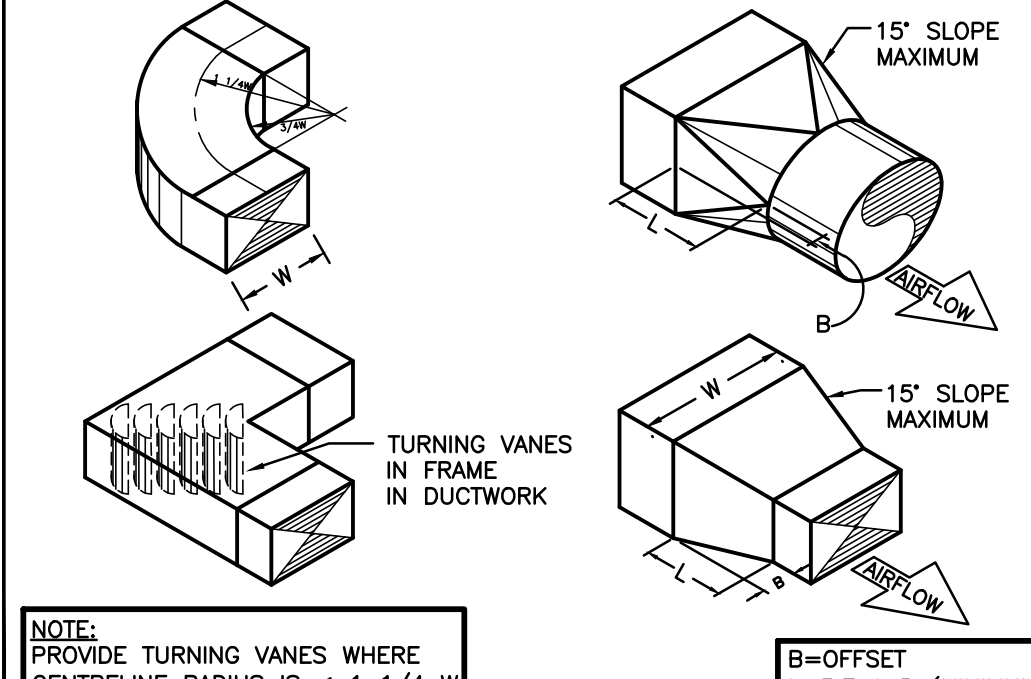
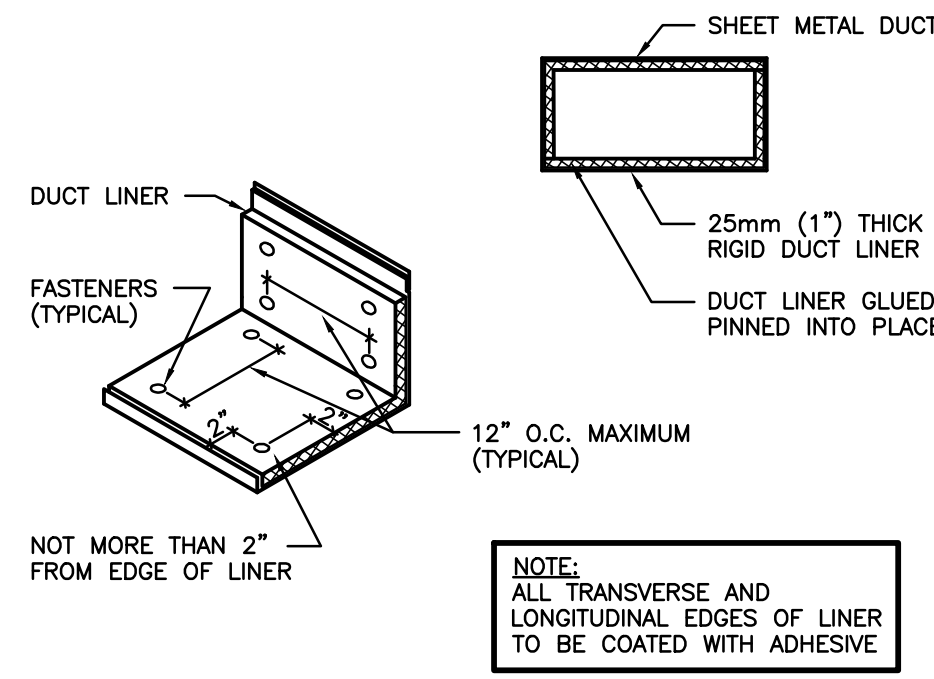
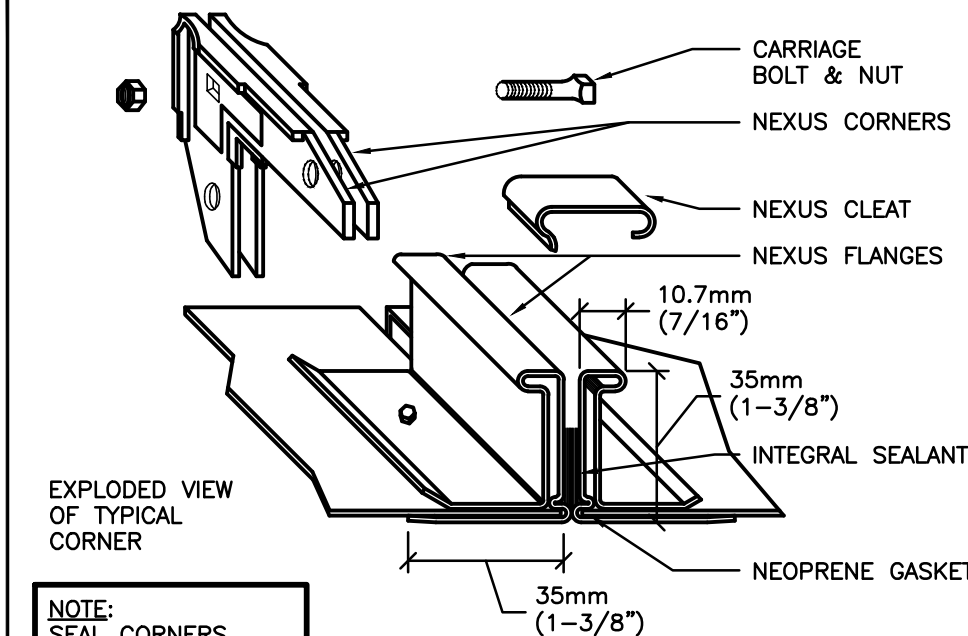
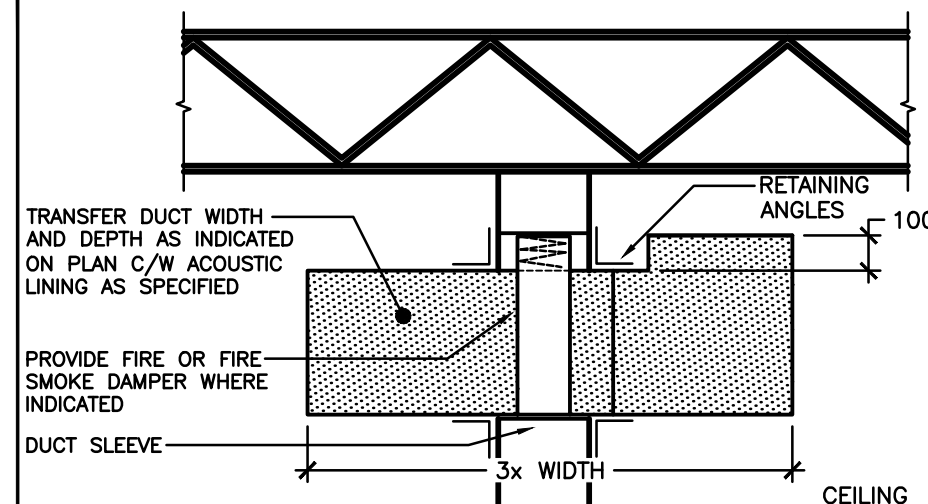
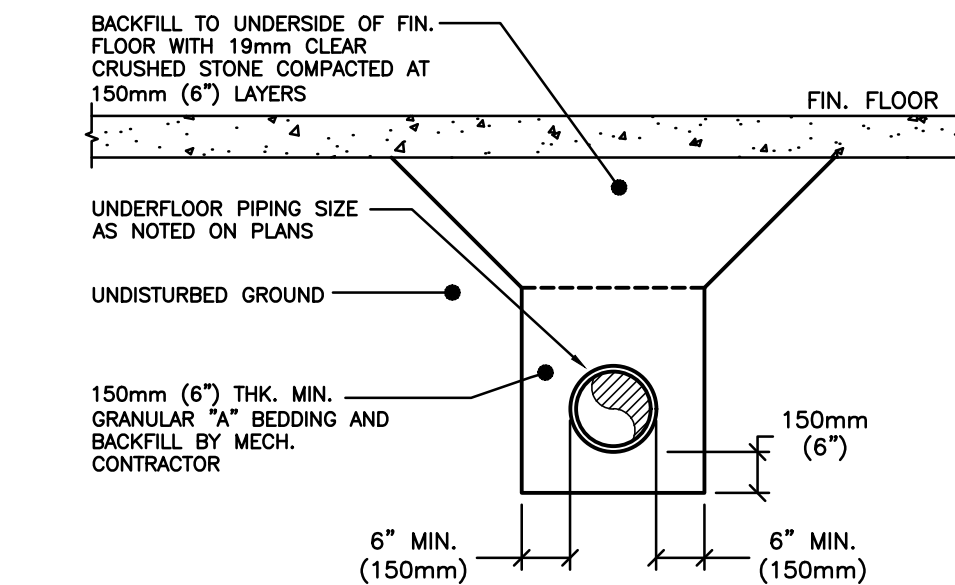
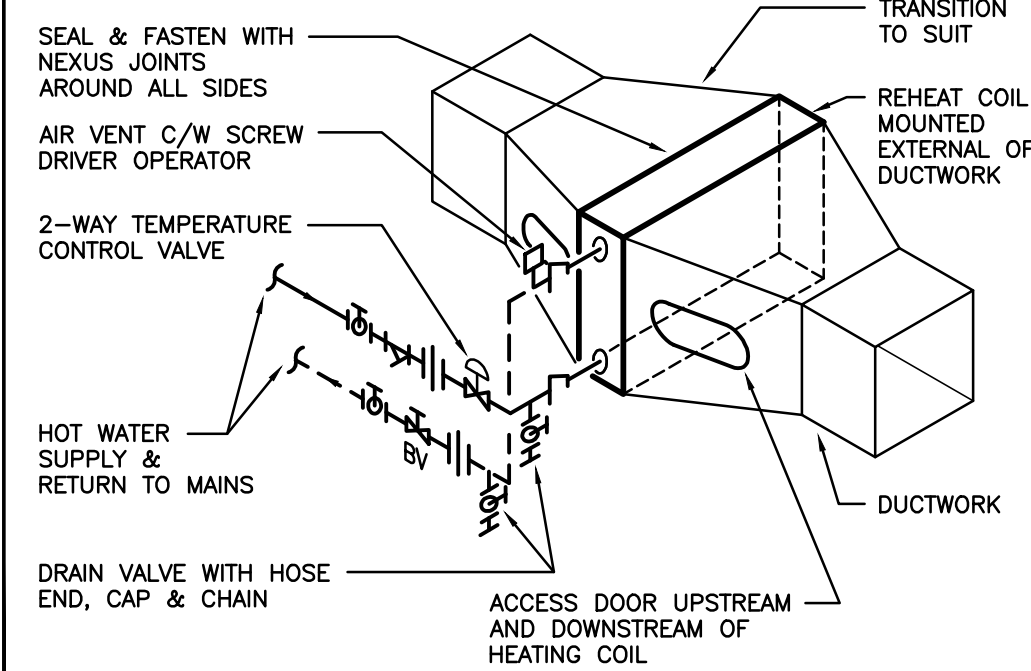
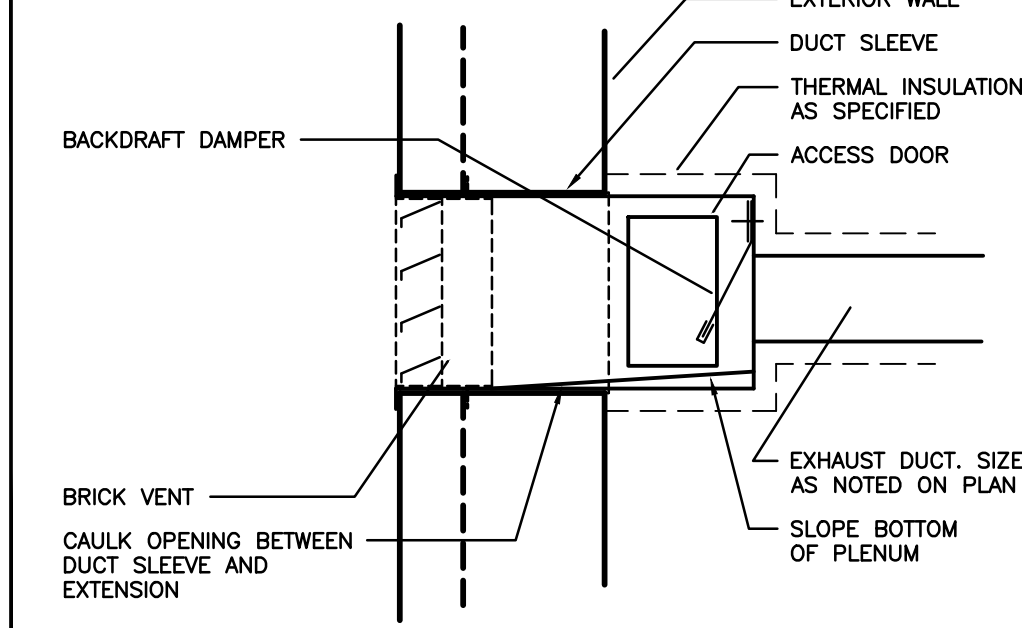
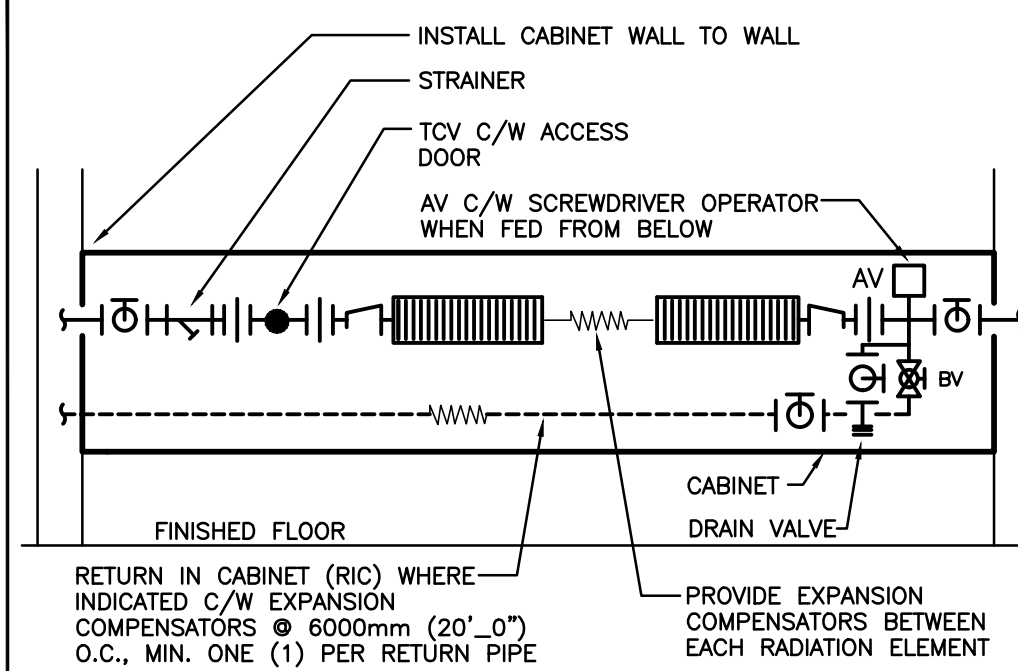
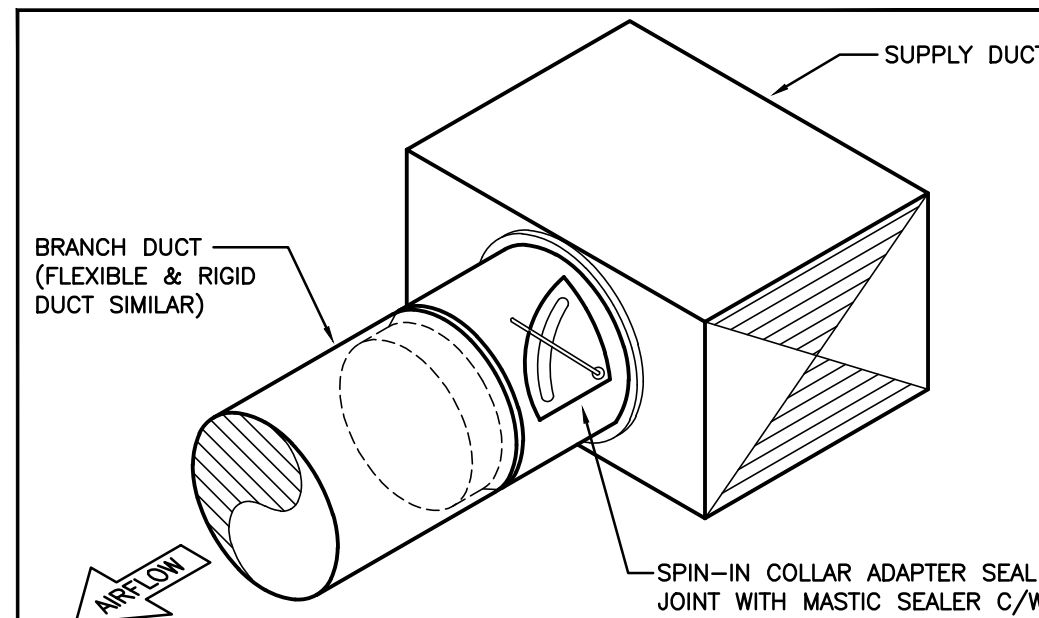
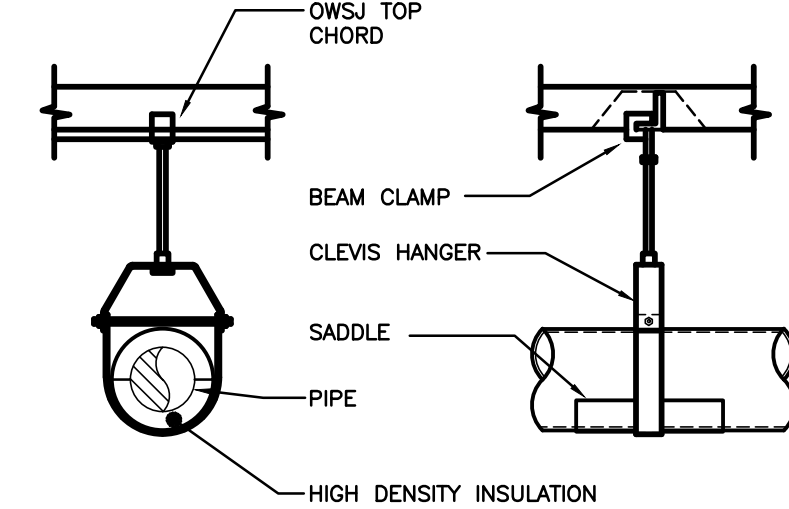
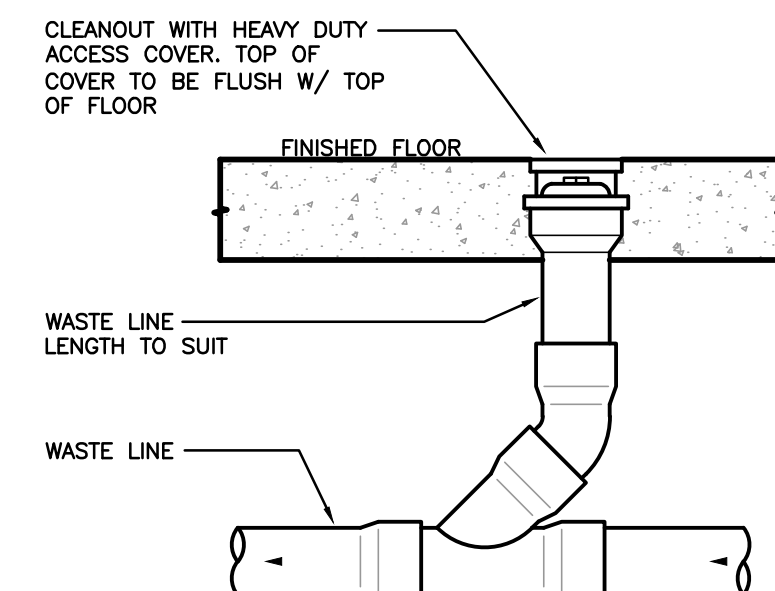
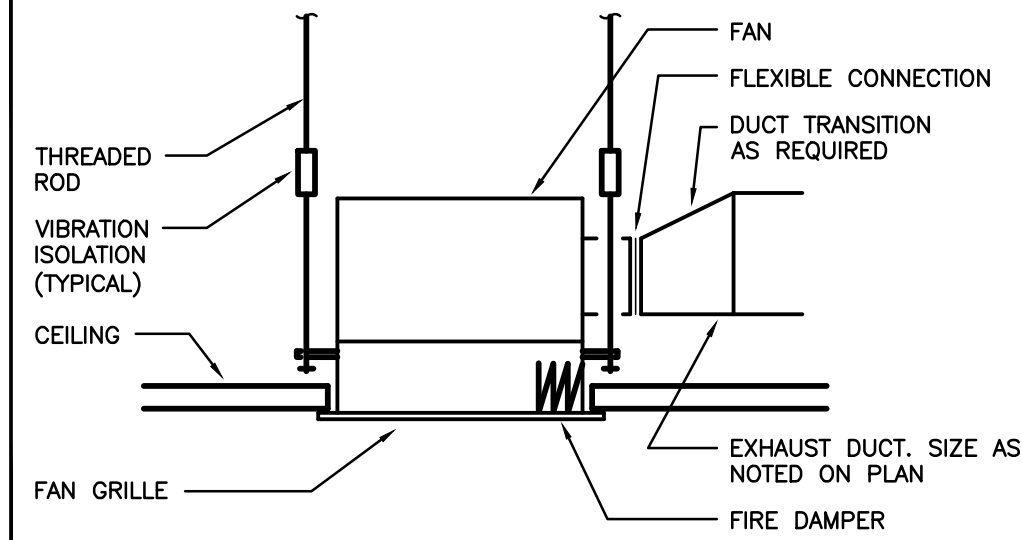
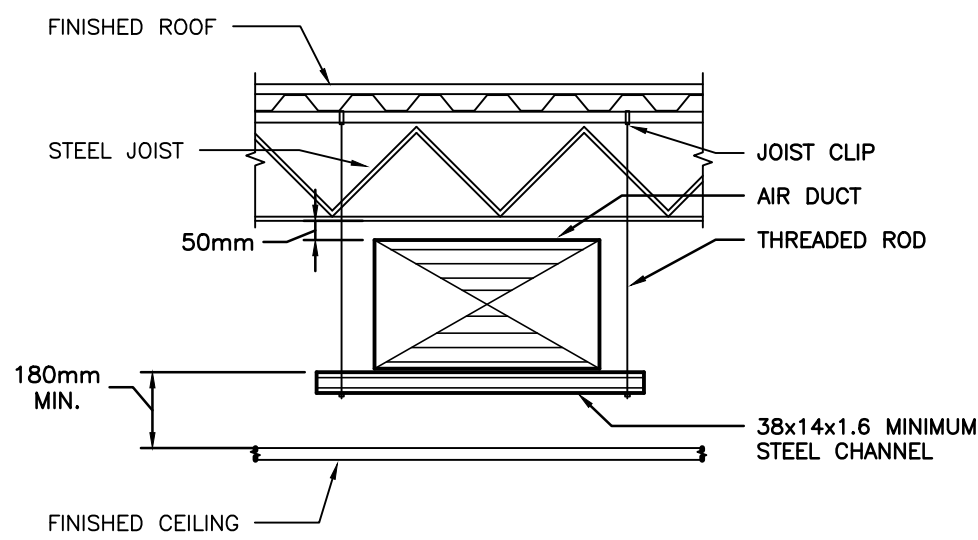
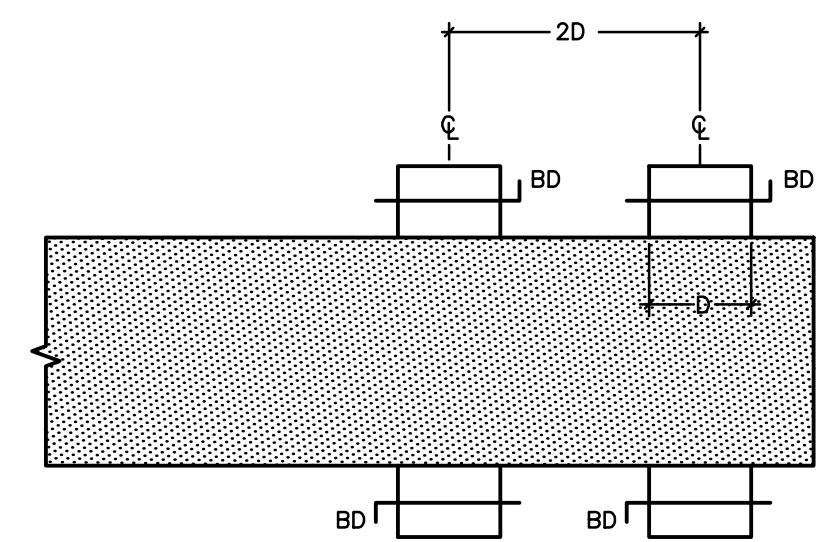
PROJECT NC

24006

DRAWING NO

M101

**MC**



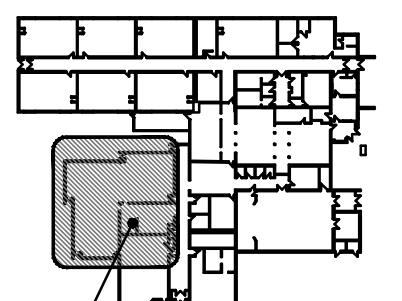
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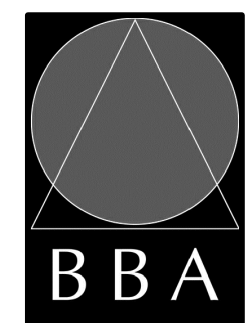
PROJECT:

**GRAFTON PUBLIC SCHOOL
INTERIOR RENOVATIONS**

654 Station Road, Colborne, ON
KPRDSB - GRAFTON PUBLIC SCHOOL

DRAWING:

DETAILS



BARRY BRYAN
ASSOCIATES

**Architects
Engineers
Project Managers**

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DESIGN BY: DB	DOC. CONTROL: DATE:
DRAWN BY: KB	% COMPLETE:
CHECKED BY: MW	INITIAL:
DATE: FEB 2024	
SCALE: AS NOTED	
FILE:	

PROJECT NO:

24006

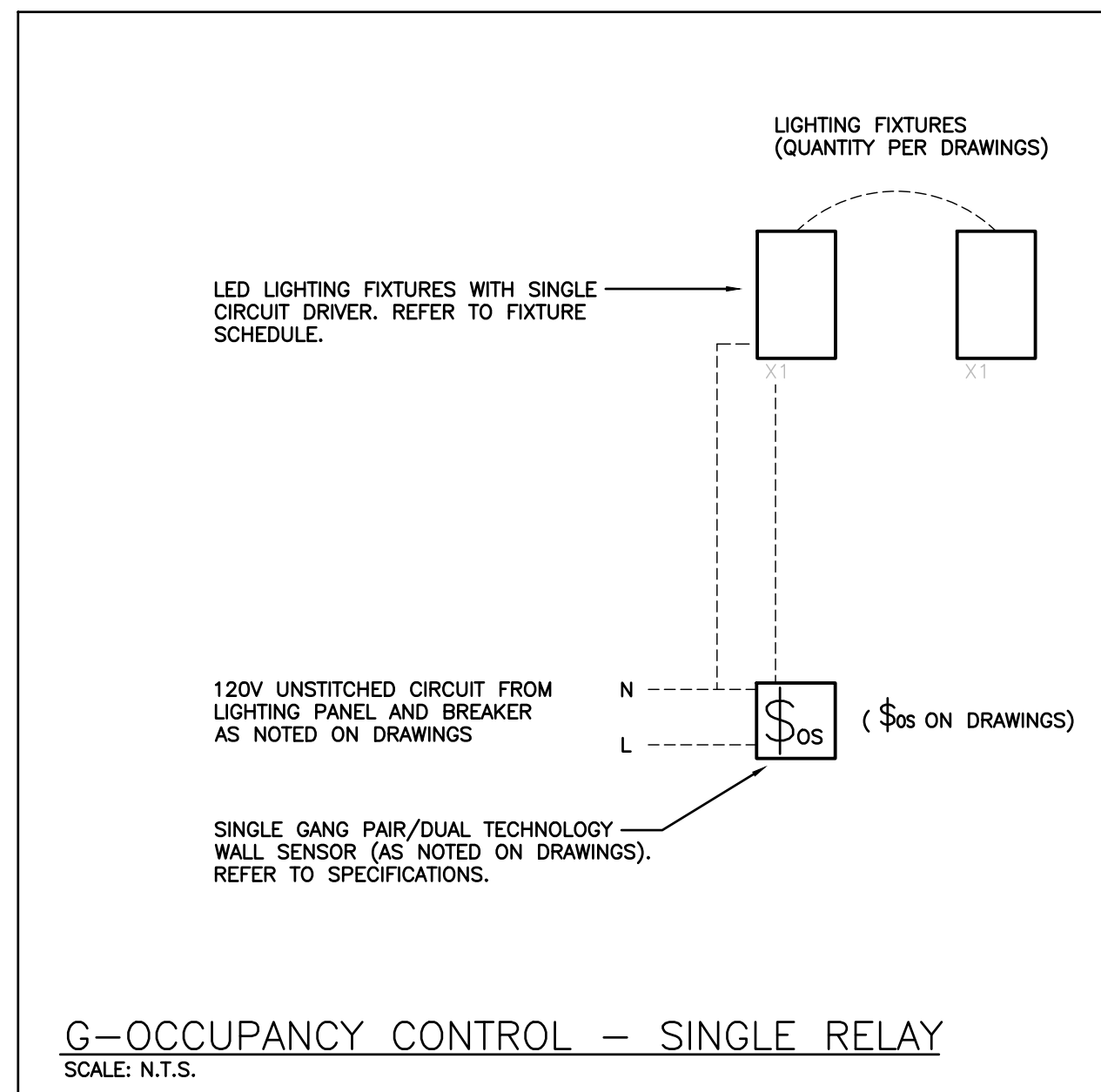
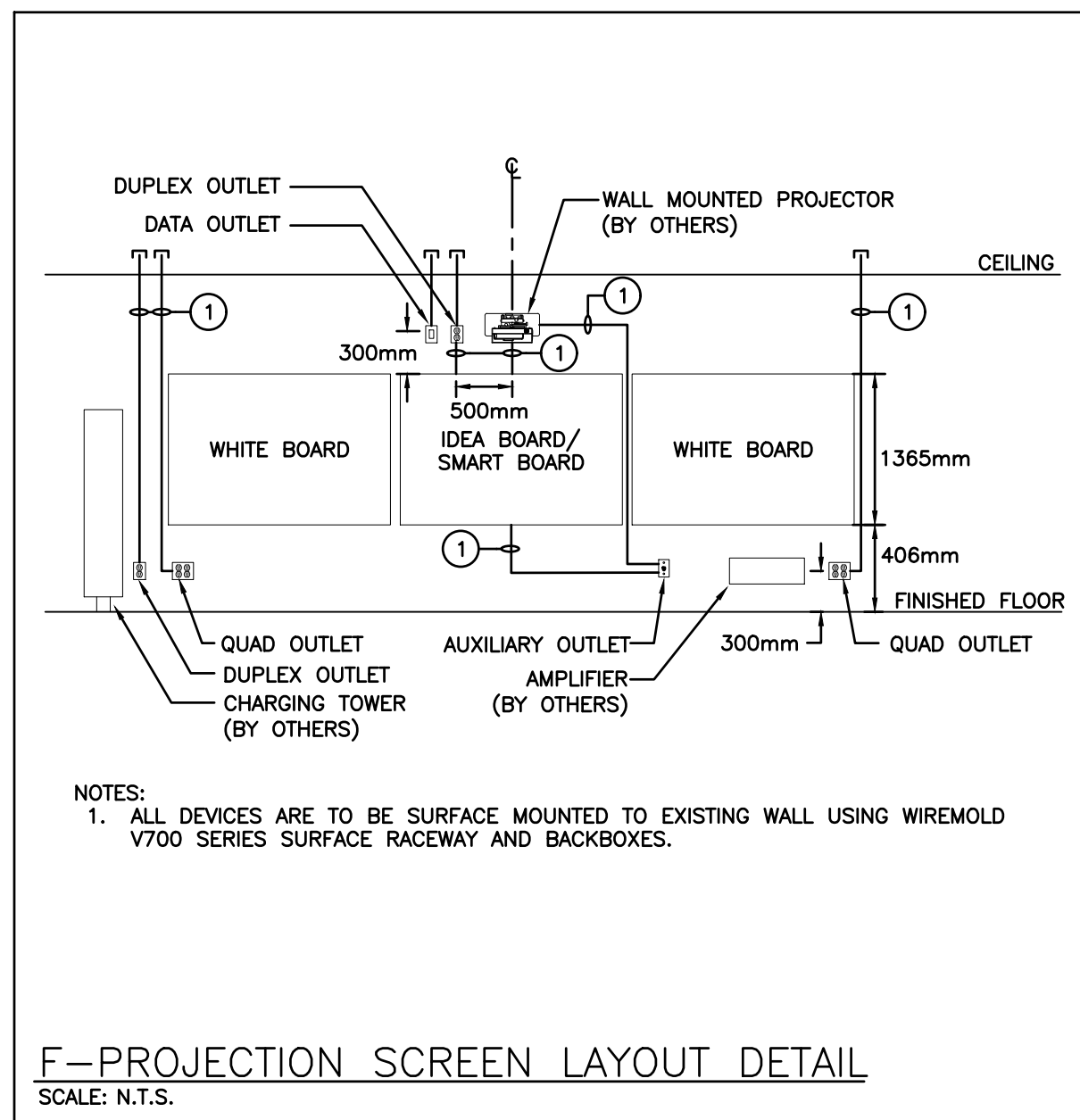
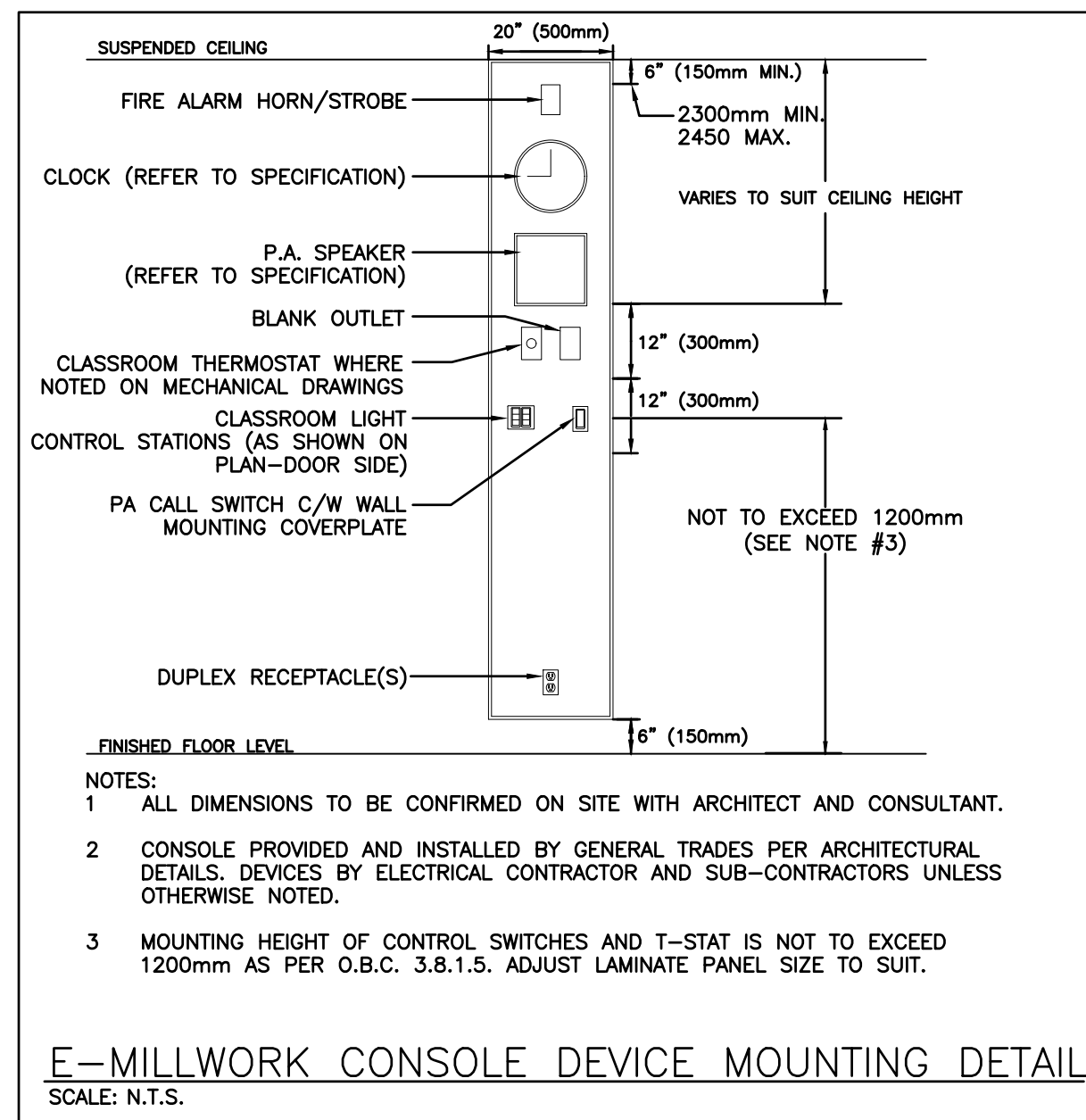
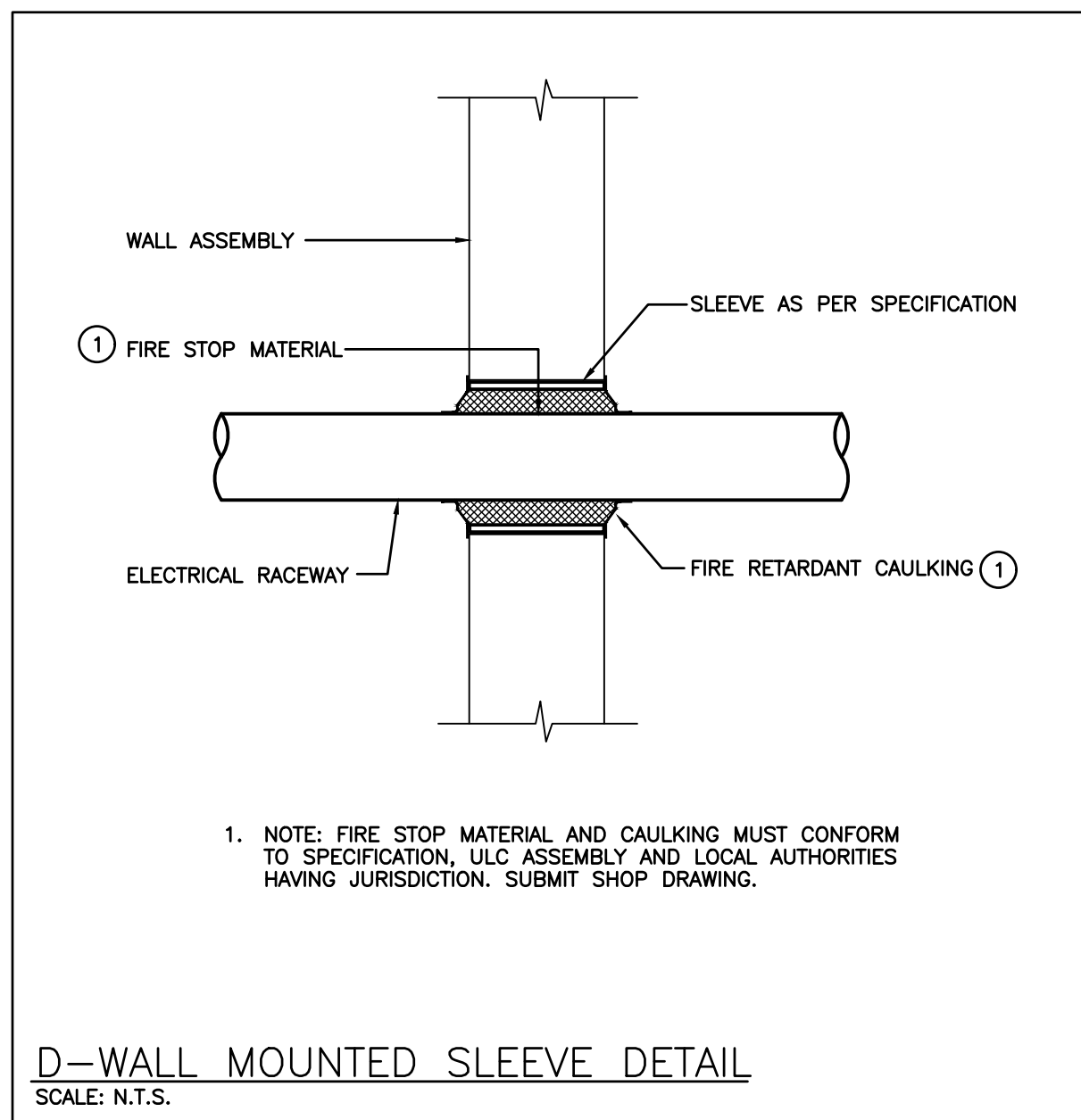
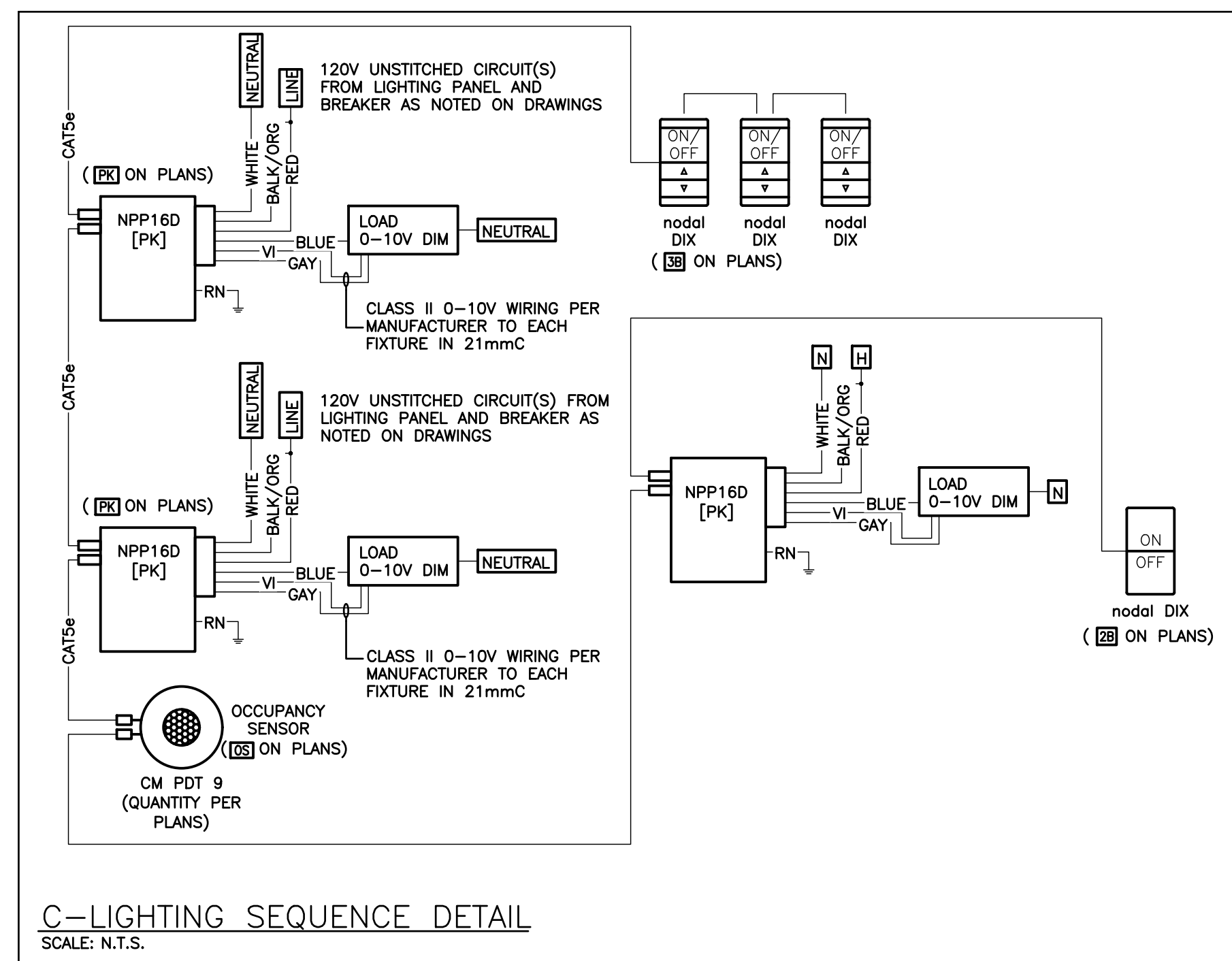
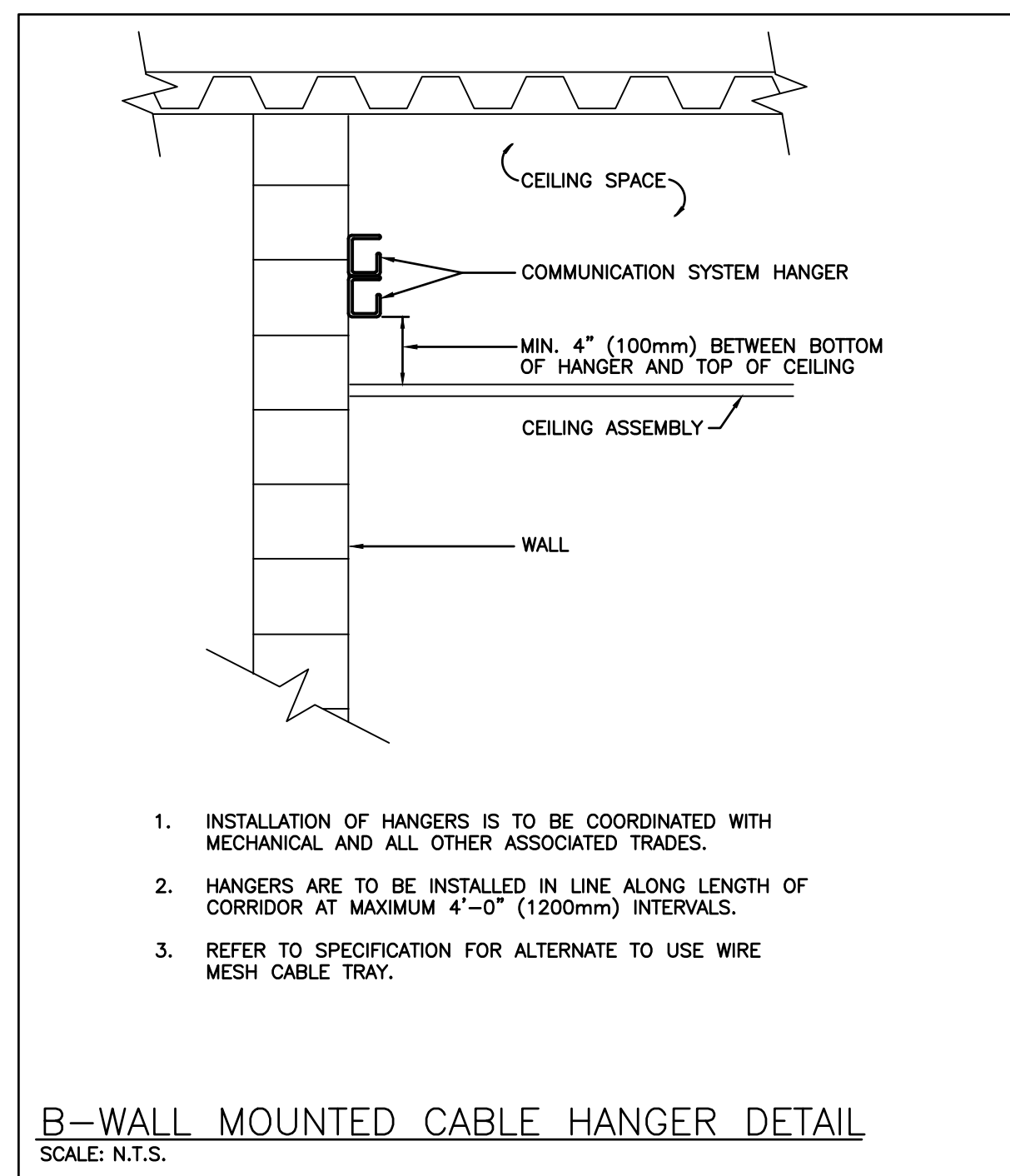
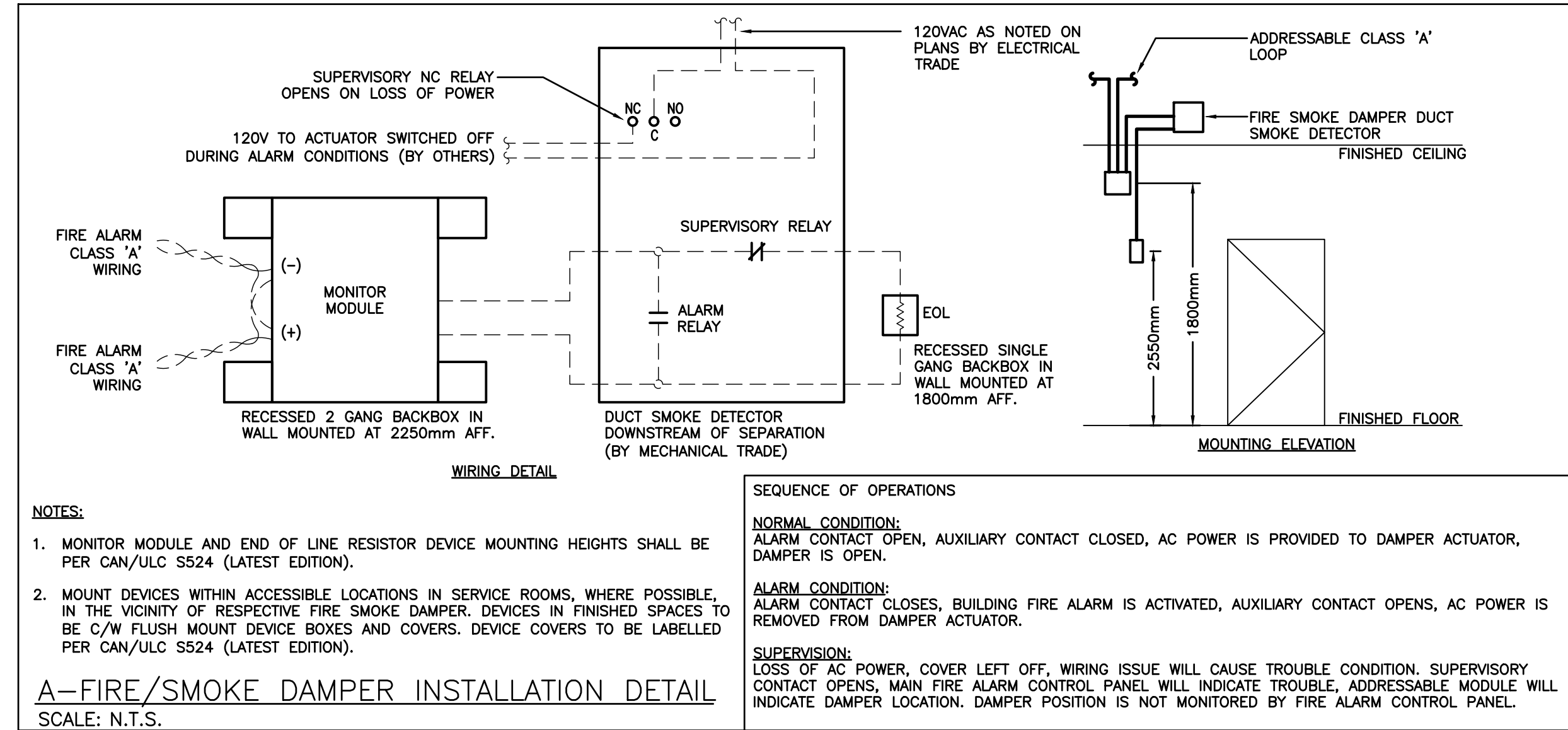
DRAWING NO:

M401

EQUIPMENT WIRING SCHEDULE																				E=ELECTRICAL M=MECHANICAL O=OTHERS																							
Description		Data		Starter		Control Device		Isolating Device		Remote Items								Interlock		Remarks																							
Code	Description	Provided by	Voltage	Size	HP/kW/amps	Phase	Magnetic	Manual	Contact	Combination	Variable Frequency Drive	On/Off	Hand/Off/Auto	Selector	Start/Stop	Stop PB	High/Low/Off	Pilot Light	Disconnect	Disconnect	Brkr/Fuse	Starter/Device	Wired By	Thermostat	RA	Thermostat	Time Clock	Var.Speed	Ctrl	Rated Sw.	24v Pilot Light	Dual Voltage	Relay	Control Panel	Wired by	Bag Auto System	Wired by	Interlock To	Interlock By	Description			
EF-101	EXHAUST FAN	M	120	FHP	1																																						CONTROLLED THROUGH DVR/BAS
EF-102	EXHAUST FAN	M	120	FHP	1																																						CONTROLLED THROUGH DVR/BAS

LIGHTING CONTROL SYSTEMS SEQUENCE OF OPERATION			
SPACE TYPE	CONTROL SEQUENCE / CONTROL DEVICE(S):	CONTROL SYSTEM	DETAIL REFERENCE
CLASSROOMS	ON: LIGHTS WILL TURN ON TO 50% AUTOMATICALLY WHEN OCCUPANCY IS DETECTED. OFF: 20 MINUTES AFTER THE AREA TIED TO A GIVEN ROOM CONTROLLER HAS BEEN VACATED, THE LIGHTS WILL AUTOMATICALLY TURN OFF. MANUAL: THE OCCUPANT CAN ADJUST LIGHTING TO DESIRED LEVEL VIA WALL STATION DIMMER.	DIGITAL ROOM CONTROL SYSTEM	C/E102
CORRIDOR	LIGHTS ARE TO BE ON 24/7/365	N/A	N/A

LIGHT FIXTURE SCHEDULE							
Item	Manufacturer/Catalog Number	Voltage	Lamp	Mounting	CRI	Listings	Description
A	COOPER CAT. #24FPLS23CT3 LITHONIA CAT. #CPX 2X4 ALOS S1W7 M2 SIGNIFY CAT. #2SBP3555L0CS-4 UNV-DM	120V	LED E3000 LUMENS 4000K 56.3W	RECESSED	80	DLG DAMP LOC.	2'x4' (610mmx1220mm) LED BACKLIT FLAT PANEL FIXTURE C/W FIELD SELECTABLE LUMENS AND COLOUR TEMPERATURE, WHITE FROSTED LENS, 10X 0-10V DIMMING DRIVER, AND WHITE FINISH.
							LIGHT FIXTURE SETTING IS TO BE SET AT "4000K" AND AT "MEDIUM"
EXIT LIGHTS	AIMLITE CAT. #RPLWJUNWHITUNVDC STANPROP CAT. #RXLMDWH-UDC LUMACELL CAT. #LA3WUX	12V/120V	LED 2.5 WATT (MAX JAC 2 WATT (MAX JDC	SURFACE	N/A	N/A	LED EXTRUDED ALUMINUM PICTOGRAM FIXTURE C/W GREEN FACE AND WHITE LEGEND, UNIVERSAL MOUNTING TO SUIT WALL, END OR CEILING, AND MAXIMUM 2.5" (63mm) THICKNESS, FACES AND CHEVRONS TO SUIT DRAWINGS.
EMERG. LIGHTS	AIMLITE CAT. #RMSM212V4WJLWHT STANPROP CAT. #N2-06-12V4WJLWH LUMACELL CAT. #MQM2LD7	12V	LED 2-4W MR16	SURFACE	N/A	N/A	TWIN HEAD LED REMOTE MR16 FIXTURE C/W COMPACT DESIGN, THERMOPLASTIC CONSTRUCTION, WHITE COLOUR, FULL AIMING ADJUSTMENT, AND 360° ROTATION.
EMERG. BATT.	AIMLITE #EBST12 SERIES: EM-3 #EBST12036-234W4WJLWHT-ATD STANPROP CAT. #SLX12 SERIES EM-3 #SLA12036-2N4JL/AT LUMACELL CAT. #RGS SERIES EM-3 #RG12S361LD7ATN	12V/120V	LED 2-4W MR16	SURFACE	N/A	N/A	LONG LIFE, SEALED RECHARGEABLE BATTERY PROVIDING MINIMUM EMERGENCY WATTAGE AS NOTED BY THE CATALOGUE NUMBER C/W MICRO SIZE 12V 4W (MINIMUM) LED HEADS AND AUTOTEST FEATURE.
NOTES:							
①	LED LUMEN VALUES QUOTED FOR FIXTURES ARE TO BE CONSIDERED MINIMUM, AND AS ABSOLUTE OR DELIVERED LUMENS. LUMEN VALUES SHOULD NOT EXCEED MORE THAN 10% OF SPECIFIED OUTPUT.						
②	EQUAL MANUFACTURERS/SUPPLIERS MUST CONFIRM THE PROPOSED FIXTURE BY EMAIL WITH CONSULTANTS OFFICE A MINIMUM OF 10 DAYS PRIOR TO TENDER CLOSE.						
③	IF THERE ARE ANY DISCREPANCIES BETWEEN THE FIXTURE PART NUMBER AND DESCRIPTION, IT IS THE RESPONSIBILITY OF THIS CONSULTANT TO BRING THESE TO THE ELECTRICAL CONSULTANTS ATTENTION PRIOR TO TENDER CLOSE. NO EXTENDS WILL BE ENTERTAINED FOR FAILURE TO DO SO. FINAL FIXTURE CHARACTERISTICS AND DESCRIPTION WILL BE MARKED BY CONSULTANT AT TIME OF SHOP DRAWING REVIEW.						



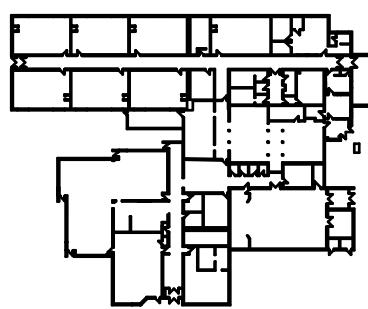
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<u>Key Plan</u>			
NO.	REVISIONS	DATE	BY



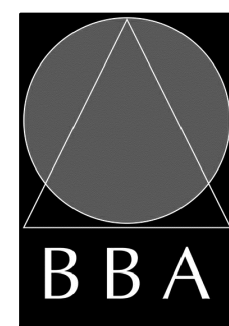
PROJECT:

GRAFTON PUBLIC SCHOOL INTERIOR RENOVATIONS

654 Station Road, Colborne, ON
KPRDSB - GRAFTON PUBLIC SCHOOL

DRAWING:

SCHEDULES & DETAILS



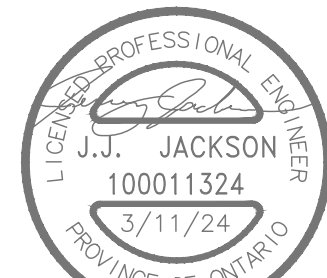
BARRY BRYAN
ASSOCIATES

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Engineers
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L1N 0G5

Tel: (905) 666-5252
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PROJECT NO:



DESIGN BY:	MEK
DRAWN BY:	MEK
CHECKED BY:	JJ

DATE:
FEB 2024

SCALE:
AS NOTED

FILE:

DRAWING NO:

24006

E102

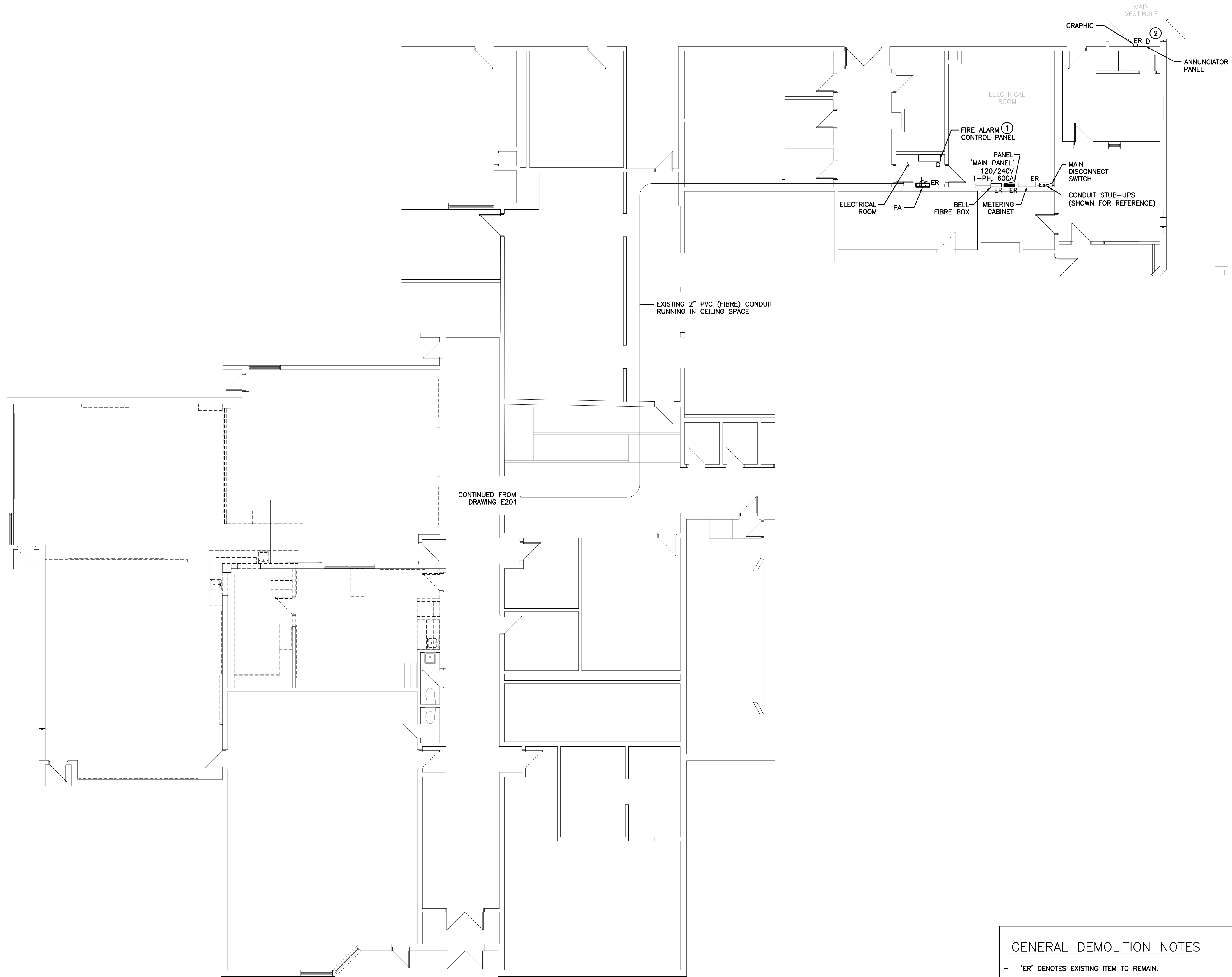


- 'ER' DENOTES EXISTING ITEM TO REMAIN.
- EXISTING ELECTRICAL EQUIPMENT NOT SHOWN SHALL REMAIN UNLESS NOTED OTHERWISE
- 'R' INDICATES EXISTING ITEM TO BE RELOCATED. REFER TO RENOVATION DRAWINGS AND RELOCATE DEVICE AND WIRING TO SUIT. UNLESS OTHERWISE NOTED.
- 'D' INDICATES EXISTING ITEM TO BE DELETED. UNLESS OTHERWISE NOTED DISCONNECT AND REMOVE NOTED DEVICE AND WIRING BACK TO SOURCE.
- ALL LIGHTING FIXTURES BEING RELOCATED SHALL BE CLEANED AND CHECKED PRIOR TO BEING REINSTALLED.
- ALL MATERIALS REMOVED UNDER DEMOLITION, NOT TO BE RELOCATED OR DESIGNATED TO BE TURNED OVER TO THE OWNER, SHALL BECOME PROPERTY OF THE CONTRACTOR AND SHALL BE REMOVED COMPLETELY FROM THE SITE.

1	ALL EXISTING LIGHT FIXTURES IN AREA SHOWN SHALL BE DISCONNECTED AND REMOVED COMPLETE. MAINTAIN EXISTING LIGHTING CIRCUIT FOR CONNECTION TO NEW LIGHT FIXTURES AS SHOWN ON RENOVATION PLANS FOR A COMPLETE WORKING SYSTEM.	9	INDICATES EXISTING EMERGENCY BATTERY UNIT C/W DUPLEX RECEPTACLE TO BE DISCONNECTED AND RELOCATED. REWORK/EXTEND EXISTING WIRING AND CONDUIT AS REQUIRED TO SUIT NEW LOCATION AS SHOWN ON RENOVATION PLANS FOR A COMPLETE WORKING SYSTEM. REFER TO RENOVATION DRAWINGS FOR CONTINUATION.
2	INDICATES EXISTING IT RACK C/W UPS UNIT AND ALL ASSOCIATED COMPONENTS TO BE RELOCATED ALONG WITH ALL ASSOCIATED COMPONENTS. CONTRACTOR SHALL MAKE NOTE OF ALL COMMUNICATION CABLES/TERMINATIONS (PORTS) PRIOR TO DISCONNECTING CABLES. CONTRACTOR SHALL ALLOW FOR 150 CABLES. REFER TO RENOVATION PLAN FOR CONTINUATION.	10	INDICATED DEVICE SHALL BE LOWERED TO 1200mm (48") AFF. AT PRESENT DEVICE LOCATION, PROVIDE SHALLOW WIREMOLD 700, WIREMOLD 700 SERIES FEED DOWN TO NEW BOX, AND DEVICE AT INDICATED HEIGHT.
3	INDICATES EXISTING 2" CONDUIT IN CEILING, FOR COMMUNICATION CABLES.	11	INDICATES EXISTING GFI RECEPTACLE TO BE DISCONNECTED AND REMOVED COMPLETE. CONTRACTOR SHALL EXTEND AND REWORK EXISTING CIRCUIT TO SUIT NEW COUNTER LOCATION FOR RECONNECTION. REFER TO RENOVATION DRAWINGS FOR CONTINUATION.
4	INDICATES FIBRE OPTIC CORNING BOX MOUNTED ON WALL, TO BE RELOCATED. REFER TO RENOVATION PLAN FOR CONTINUATION	12	INDICATES EXISTING EMERGENCY LIGHTING FIXTURE TO BE DISCONNECTED AND REMOVED COMPLETE.
5	DENOTES EXISTING PANEL BOARD TO BE DISCONNECTED AND REMOVED COMPLETE. CONTRACTOR SHALL "ISOLATE MAIN BREAKER MAIN PANEL" IN ELECTRICAL ROOM AND MAKE SAFE PRIOR TO COMMENCEMENT OF WORK. CONTRACTOR SHALL REFER TO RENOVATION DRAWING FOR NEW PANEL REPLACEMENT DETAILS.	13	MAINTAIN EXISTING CIRCUIT WIRING FOR CONNECTION TO NEW DEVICE AS SHOWN ON RENOVATION PLANS.
6	INDICATES DUCT SMOKE DETECTOR LOCATED IN CEILING SPACE, TO BE REMOVED AND REPLACED AS PART OF FIRE ALARM CONTROL PANEL REPLACEMENT. REFER TO FIRE ALARM RISER AND SPECIFICATIONS.	14	MAINTAIN EXISTING DATA CABLEING COILED IN CEILING SPACE FOR RE-USE IN RENOVATION PLAN. COORDINATE WITH SCHOOL BOARD IT REPRESENTATIVE FOR RE-USE OF DATA CABLEING. ANY SPARE DATA CABLE DROPS AT END OF RENOVATION WORK SHALL BE REMOVED COMPLETE BACK TO SOURCE PATCH PANEL.
7	INDICATED DEVICE SHALL BE REMOVED AND RE-INSTALLED TO ACCOMMODATE CEILING TILE REPLACEMENT. REWORK/EXTEND EXISTING WIRING AS REQUIRED TO SUIT NEW LOCATION ON RENOVATION PLANS.		
8	INDICATED SWITCH SHALL BE REMOVED COMPLETE. REWORK NEW CONTROLS AS NOTED ON RENOVATION PLANS. PROVIDE BLANK STAINLESS STEEL COVERPLATE TO SUIT EXISTING BACKBOX. REMOVE CONDUIT IF/AND WHEN NECESSARY.		

NOTES: THIS CONTRACTOR IS TO INVESTIGATE BREAKERS AND REVISE PANEL SCHEDULES TO SUIT RENOVATION, NOTING ANY BREAKERS THAT BECOME SPARE DUE TO DEMOLITION. THIS CONTRACTOR IS ALSO TO NOTIFY THE CONSULTANT OF ANY BREAKERS THAT ARE INDICATED TO BE DEMOLISHED OR REUSED, BUT WHICH ARE IN USE BY OTHER DEVICES OR SERVICES.

PROJECT NO: 24006	DRAWING NO: E201
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PARTIAL GROUND FLOOR – POWER AND SYSTEMS DEMOLITION PLAN
SCALE: 1:100

GENERAL DEMOLITION NOTES

- 'ER' DENOTES EXISTING ITEM TO REMAIN.
- EXISTING ELECTRICAL EQUIPMENT NOT SHOWN SHALL REMAIN UNLESS NOTED OTHERWISE.
- 'R' INDICATES EXISTING ITEM TO BE RELOCATED. REFER TO RENOVATION DRAWINGS AND RELOCATE DEVICE AND WIRING TO SUIT. UNLESS OTHERWISE NOTED.
- 'D' INDICATES EXISTING ITEM TO BE DELETED. UNLESS OTHERWISE NOTED DISCONNECT AND REMOVE NOTED DEVICE AND WIRING BACK TO SOURCE.
- ALL MATERIALS REMOVED UNDER DEMOLITION, NOT TO BE RELOCATED OR DESIGNATED TO BE TURNED OVER TO THE OWNER, SHALL BECOME PROPERTY OF THE CONTRACTOR AND SHALL BE REMOVED COMPLETELY FROM THE SITE.

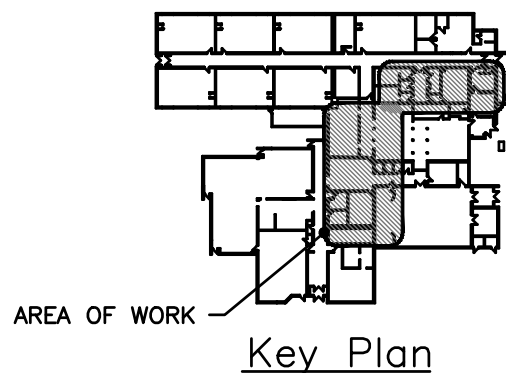
SPECIFIC DEMOLITION NOTES

- 1 INDICATES APPROXIMATE LOCATION OF EXISTING FIRE ALARM CONTROL PANEL, NOTIFIER SYSTEM 500. THIS PANEL SHALL BE DISCONNECTED AND REMOVED COMPLETE. CONTRACTOR SHALL RETAIN EXISTING 120V POWER FEED FOR RECONNECTION TO NEW PANEL. REFER TO RENOVATION DRAWING FOR FURTHER DETAILS.
- 2 INDICATES APPROXIMATE LOCATION OF EXISTING ANNUNCIATOR PANEL TO BE DISCONNECTED AND REMOVED COMPLETE. CONTRACTOR SHALL RE-USE EXISTING BACK BOX AND CONDUIT TO FIRE ALARM CONTROL PANEL LOCATION. GRAPHIC SHALL REMAIN AS IS. REFER TO RENOVATION DRAWING AND FIRE ALARM RISER DIAGRAM FOR FURTHER DETAILS.

The contractor shall verify all dimensions and report all errors and discrepancies to the Consultant before commencement of the work.
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NO.	ISSUES	DATE	BY
1	ISSUED FOR COORDINATION	07.02.24	MEK
2	ISSUED FOR TENDER REVIEW	23.02.24	MEK
3	ISSUED FOR TENDER	11.03.24	MEK



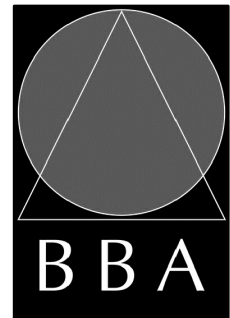
NO.	REVISIONS	DATE	BY



PROJECT: GRAFTON PUBLIC SCHOOL INTERIOR RENOVATIONS

654 Station Road, Colborne, ON
KPRDSB - GRAFTON PUBLIC SCHOOL

DRAWING: PARTIAL GROUND FLOOR - DEMOLITION PLANS



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DESIGN BY:
MEK

DRAWN BY:
MEK

CHECKED BY:
JJ

DATE:
FEB 2024

SCALE:
AS NOTED

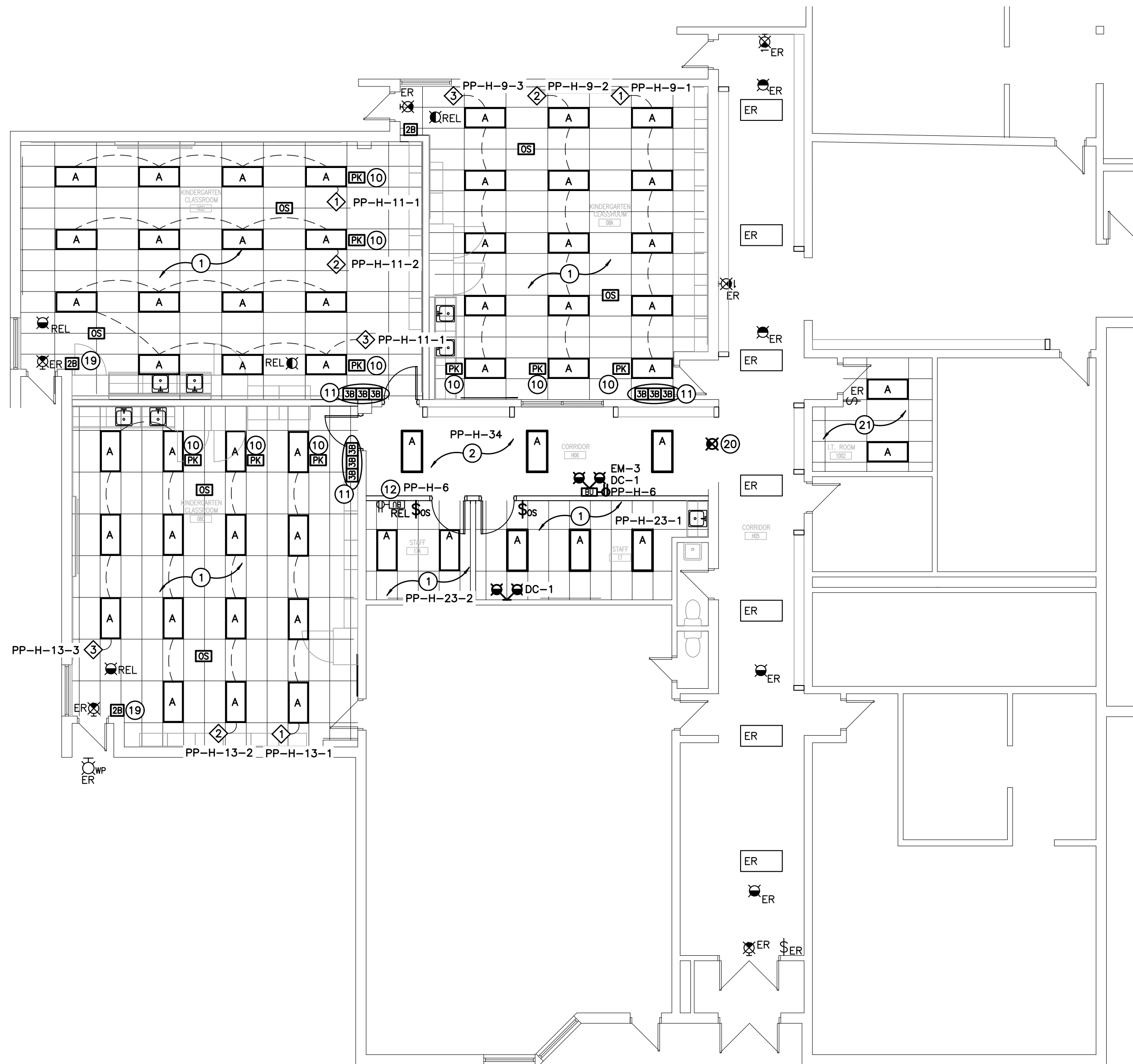
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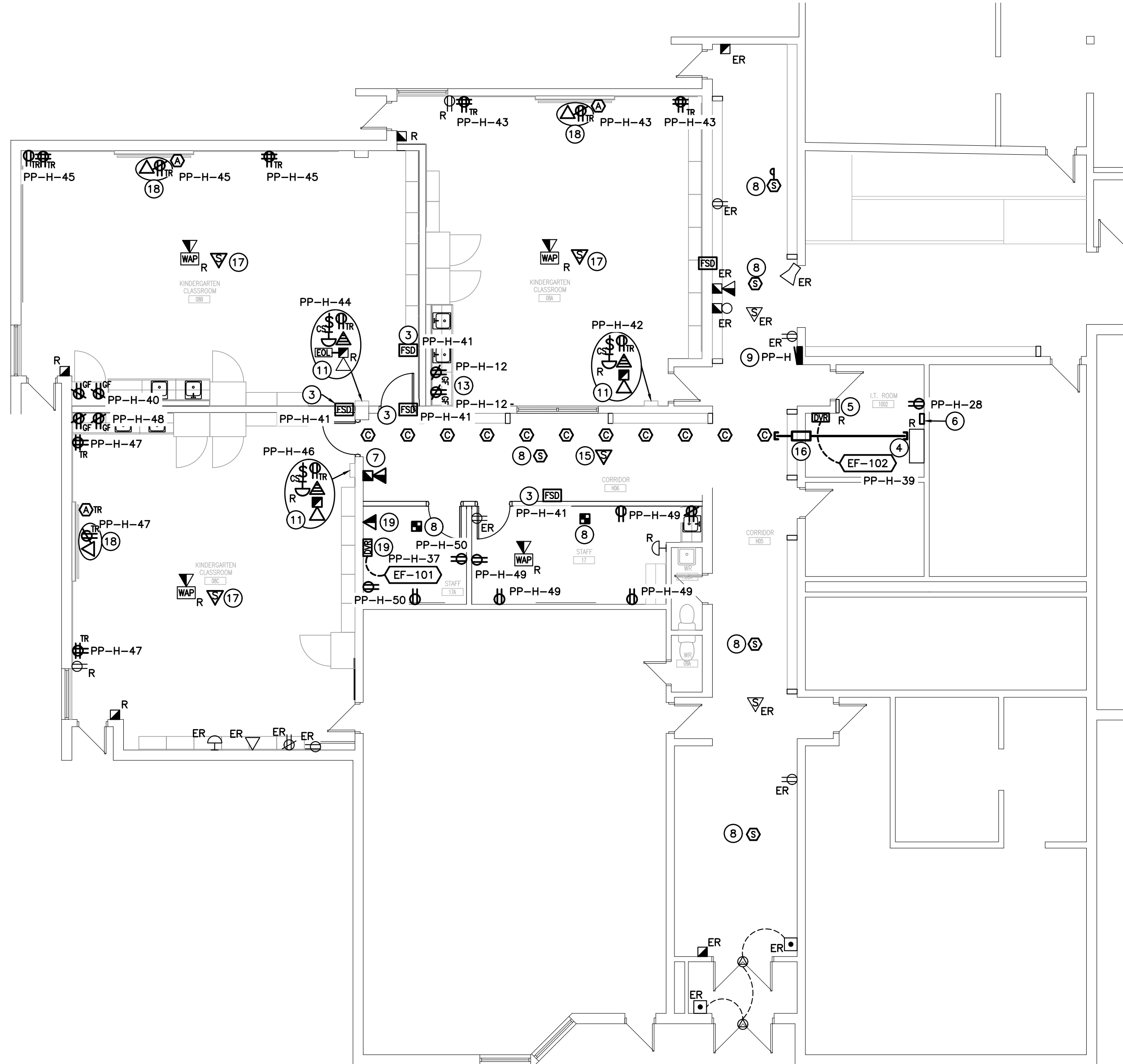
24006

DRAWING NO:

E202



LIGHTING RENOVATION PLAN



POWER AND SYSTEMS RENOVATION PLAN

GENERAL RENOVATION NOTES

- 'ER' INDICATES EXISTING ITEM TO REMAIN.
- 'REL' INDICATES EXISTING ITEM IN RELOCATED POSITION.
- ALL DEVICES SHOWN ARE NEW UNLESS OTHERWISE NOTED.
- EXISTING ELECTRICAL EQUIPMENT NOT SHOWN SHALL REMAIN UNLESS OTHERWISE NOTED.
- MAINTAIN SERVICE TO ALL EXISTING DEVICES TO REMAIN.
- REVISE PANEL DIRECTORIES TO SUIT CHANGES (TYPED).

SPECIFIC RENOVATION NOTES

- REWORK EXISTING LIGHTING CIRCUIT MADE AVAILABLE DURING DEMOLITION TO SUIT NEW FIXTURES. NOTE: CLASSROOMS HAVE TWO SEPARATE LIGHTING CIRCUITS LOCATED AT SWITCHES. REWORK ONE EXISTING CIRCUIT TO SUIT NEW CONTROLS.
- CONNECT INDICATED FIXTURES TO EXISTING CIRCUIT AND CONTROLS FROM CORRIDOR H05.
- PROVIDE 120V POWER AND FIRE ALARM CONNECTIONS TO SMOKE/FIRE DAMPER WITH INTEGRAL SMOKE DETECTOR AS INDICATED ON FIRE ALARM RISER AND ANNUNCIATOR SCHEDULE. ADD TROUBLE SIGNAL TO FIRE ALARM PANEL FOR SUPERVISION OF POWER. ALARM SIGNAL TO INTEGRAL SMOKE DETECTOR SHALL BE CONNECTED TO LOCAL DETECTION ZONE. COORDINATE EXACT LOCATION AND CONNECTION REQUIREMENTS WITH MECHANICAL CONTRACTOR. SMOKE/FIRE DAMPER AND ASSOCIATED INTEGRAL SMOKE DETECTOR IS TO BE PROVIDED AND INSTALLED BY MECHANICAL CONTRACTOR. REFER TO SPECIFICATIONS FOR FURTHER DETAILS AND REQUIREMENTS.
- INDICATES APPROXIMATE LOCATION OF EXISTING IT SERVER RACK IN RELOCATED POSITION. CONTRACTOR SHALL PULL-BACK ALL (150) COMM CABLES THROUGH CEILING SPACE AND REWORK CABLES AS REQUIRED. REWORK CABLE MANAGEMENT. RECONNECT TO PREVIOUSLY NOTED PORTS ON SERVER RACK. RECONNECT FIBRE CABLE TO CORNING BOX. REFER TO TELECOM SPEC FOR CABLE TERMINATION/TESTING REQUIREMENTS.
- INDICATES APPROXIMATE LOCATION OF EXISTING FIBRE OPTIC CORNING BOX MOUNTED ON WALL ABOVE MAN-DOOR IN RELOCATED POSITION. CONTRACTOR SHALL PULL-BACK/REWORK EXISTING CABLING AND CONDUIT, THROUGH CEILING SPACE AS REQUIRED. RECONNECT TO SERVER RACK.
- PROVIDE COPPER GROUND BUS C/W #6 CU INSULATED WIRE AND CONNECT TO MAIN BUILDING GROUND.
- CONNECT NEW FIRE ALARM SIGNALING DEVICE TO EXISTING LOCAL SIGNALING CIRCUIT AS INDICATED ON FIRE ALARM RISER DIAGRAM. RE-VERIFY PORTIONS OF ALARM SYSTEM TO CAN/ULC-S537. REFER TO DRAWING E401 AND TO SPECIFICATIONS FOR FURTHER DETAILS AND REQUIREMENTS.
- INDICATES NEW DETECTOR TO BE CONNECTED TO EXISTING LOCAL INITIATING CIRCUIT AS INDICATED ON FIRE ALARM RISER DIAGRAM. RE-VERIFY PORTIONS OF ALARM SYSTEM TO CAN/ULC-S537. REFER TO DRAWING E401 AND TO SPECIFICATIONS FOR FURTHER DETAILS AND REQUIREMENTS.
- CONTRACTOR SHALL PROVIDE NEW PANEL IN PLACE OF EXISTING PANEL. RECONNECT BRANCH CIRCUITS MADE AVAILABLE DURING DEMOLITION PHASE.

REPLACEMENT PANEL SHALL BE AS FOLLOWS:

PROVIDE INTERIOR AND TRIM
120/208V, 3PH, 4W, 225A BUS, 22KA RATED
MAIN LUGS ONLY
RECESSED
100% NEUTRAL
60 CIRCUITS
TYPE 1
C/W NEW BREAKERS AS NOTED IN PROPOSED PANEL SCHEDULE

PROVIDE ONE (1) 1" SPARE CONDUIT UP TO ACCESSIBLE CEILING SPACE FROM NEW PANEL. TERMINATE CONDUIT IN 152mmX152mmX102mm (6"x6"x4") JUNCTION BOXES IN CEILING SPACE.

CONTRACTOR SHALL PROVIDE NEW LAMICOID TAG AND LABEL PANEL AS "PP-H".
- RE-WORK EXISTING LINE AND LOAD SIDE WIRING THROUGH POWER PACK TO SUIT. REFER TO C/E102. POWER PACK TO BE INSTALLED ABOVE ACCESSIBLE CEILING SPACE IN FINISHED AREAS.
- INDICATED DEVICES SHALL BE MOUNTED IN MILLWORK CONTROL PANEL. REFER TO SPECIFICATIONS FOR FURTHER DETAILS.
- INDICATES EXISTING EMERGENCY BATTERY UNIT IN RELOCATED POSITION. CONNECT TO EXISTING CIRCUIT, EXTENDED/REWORKED DURING DEMOLITION. EXTEND EXISTING DC CIRCUIT WIRING TO REMOTE HEADS AND EXIT SIGNS PROVIDED BY THIS UNIT.
- INDICATES NEW GFI RECEPTACLES. CONTRACTOR SHALL CONNECT TO EXISTING CIRCUIT MADE AVAILABLE DURING DEMOLITION.
- NOT USED.
- INDICATES LOCATION OF WIRELESS SPEAKER FOR CORRIDOR AUDIO KIT.
- PROVIDE COMMUNICATION ZONE CONDUITS C/W BUSHINGS AS REQUIRED BETWEEN IT ROOM AND CABLE MANAGEMENT SYSTEM.
- INDICATES LOCATION OF WIRELESS SPEAKER FOR CLASSROOM AUDIO KIT.
- INDICATES DEVICES TO BE INSTALLED AT HIGH LEVEL FOR PROJECTOR TO A MAXIMUM OF 3048mm AFF. CONFIRM EXACT LOCATION AND MOUNTING HEIGHT WITH SCHOOL BOARD REPRESENTATIVE PRIOR TO ROUGH-IN. REFER TO PROJECTION SCREEN LAYOUT DETAIL F/E102.
- FEED INDICATED DEVICE USING SURFACE METAL RACEWAY EQUAL TO WIREMOLD SERIES V700. REFER TO SPECIFICATIONS.
- CONNECT EXIT SIGN INDICATED TO EXISTING LOCAL EXIT SIGNAGE CIRCUIT.
- CONNECT TO EXISTING LIGHTING CIRCUIT MADE AVAILABLE DURING DEMOLITION TO SUIT NEW FIXTURES.

PARTIAL GROUND FLOOR – RENOVATION PLANS

SCALE: 1:100

NEW PANEL 'PP-H'

VOLTAGE: 120/240 VOLTS
PHASE: 1P, 3W
MAINS: 225A
MOUNTING: RECESSED

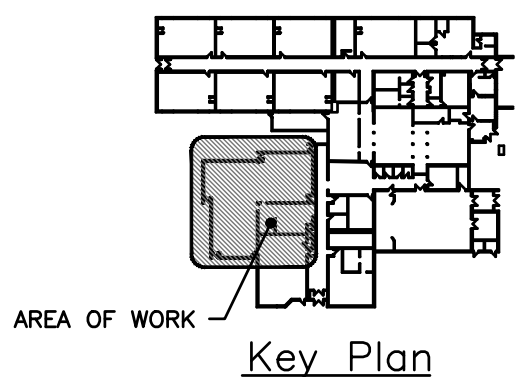
KINDERGARTEN S LTS	15A	1	2	15A	KINDERGARTEN ROOM PLUGS
ROOM 9 KINDERGARTEN LTS	20A	3	4	15A	OUTSIDE PLUG/HALL PLUG
SPARE	15A	5	6	15A	EMER. LTS WEST RM/CLOCKS
SPARE	15A	7	8	15A	H/C GFI REC. ROOM 9
ROOM 8A LTS	15A	9	10	15A	ROOM 128 PLUGS
ROOM 8B LTS	15A	11	12	15A	8A GFI REC
ROOM 8C LTS	15A	13	14	15A	ROOM 133 PLUGS
ROOM 132 LTS	15A	15	16	15A	HALL PLUGS
H/C DOOR OPENER	15A	17	18	15A	PLUGS
SPARE	15A	19	20	15A	EMERG. LTS GYM
SPARE	15A	21	22	15A	SPARE
STAFF/TEACHERS ROOM LTS	15A	23	24	15A	SPARE
KINDERGARTEN ROOM LTS	15A	25	26	15A	EXHAUST FAN
GIRLS SHOWER LTS	15A	27	28	15A	IT ROOM RECEP.
IT ROOM LTS	15A	29	30	15A	STAFF ROOM FRIDGE
SPARE	15A	31	32	15A	ROOM 129 LTS
SPARE	20A	33	34	15A	HALL/CORRIDOR H06 LTS
SPARE	20A	35	36	30A	ROOF FAN UNIT
EF-101 STAFF 17A EXH. FAN	15A	37	38	2P	
EF-102 IT ROOM EXH FAN	15A	39	40	15A	8B GFI RECEPTACLES
FSD 08B/CORRIDOR H06	15A	41	42	15A	8A EQUIPMENT REC.
08A EQUIPMENT REC.	15A	43	44	15A	8B EQUIPMENT REC.
08B EQUIPMENT REC.	15A	45	46	15A	8C EQUIPMENT REC.
08C EQUIPMENT REC.	15A	47	48	15A	8C GFI RECEPTACLES
STAFF 17 REC.	15A	49	50	15A	STAFF 17A REC.
	15A	51	52		
	15A	53	54		
	15A	55	56		
	15A	57	58		
	15A	59	60		

NOTE: THE INDICATED PANEL ASSEMBLY MUST HAVE AN INTERRUPTING CAPACITY OF 22,000A. PROVIDE BY EITHER FULLY RATED BREAKERS OR INTEGRATED EQUIPMENT RATING WITH THE UPSTREAM BREAKER.

The contractor shall verify all dimensions and report all errors and discrepancies to the Consultant before commencement of the work.
The drawings show general arrangement of services. Follow as closely as actual building construction will permit. Obtain approval for relocation of service from Consultant before commencement of the work.
The drawings do not indicate all offsets fitting and accessories which may be required. Provide the same to meet the required conditions.
Drawings and specifications, etc., prepared and issued by the consultant are the property of the consultant and must be returned at the completion of the project. These documents are not to be duplicated or copied without the consent of the Consultant. Do not scale this drawing.
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NO.	ISSUES	DATE	BY
1	ISSUED FOR COORDINATION	07.02.24	MEK
2	ISSUED FOR TENDER REVIEW	23.02.24	MEK
3	ISSUED FOR TENDER	11.03.24	MEK



NO.	REVISIONS	DATE	BY
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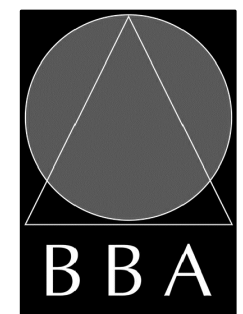
PROJECT:

**GRAFTON PUBLIC SCHOOL
INTERIOR RENOVATIONS**

654 Station Road, Colborne, ON
KPRDSB - GRAFTON PUBLIC SCHOOL

DRAWING:

**PARTIAL GROUND
FLOOR - RENOVATION
PLANS**



**BARRY BRYAN
ASSOCIATES**

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DESIGN BY:
MEK

DRAWN BY:
MEK

CHECKED BY:
JJ

DATE:
FEB 2024

SCALE:
AS NOTED

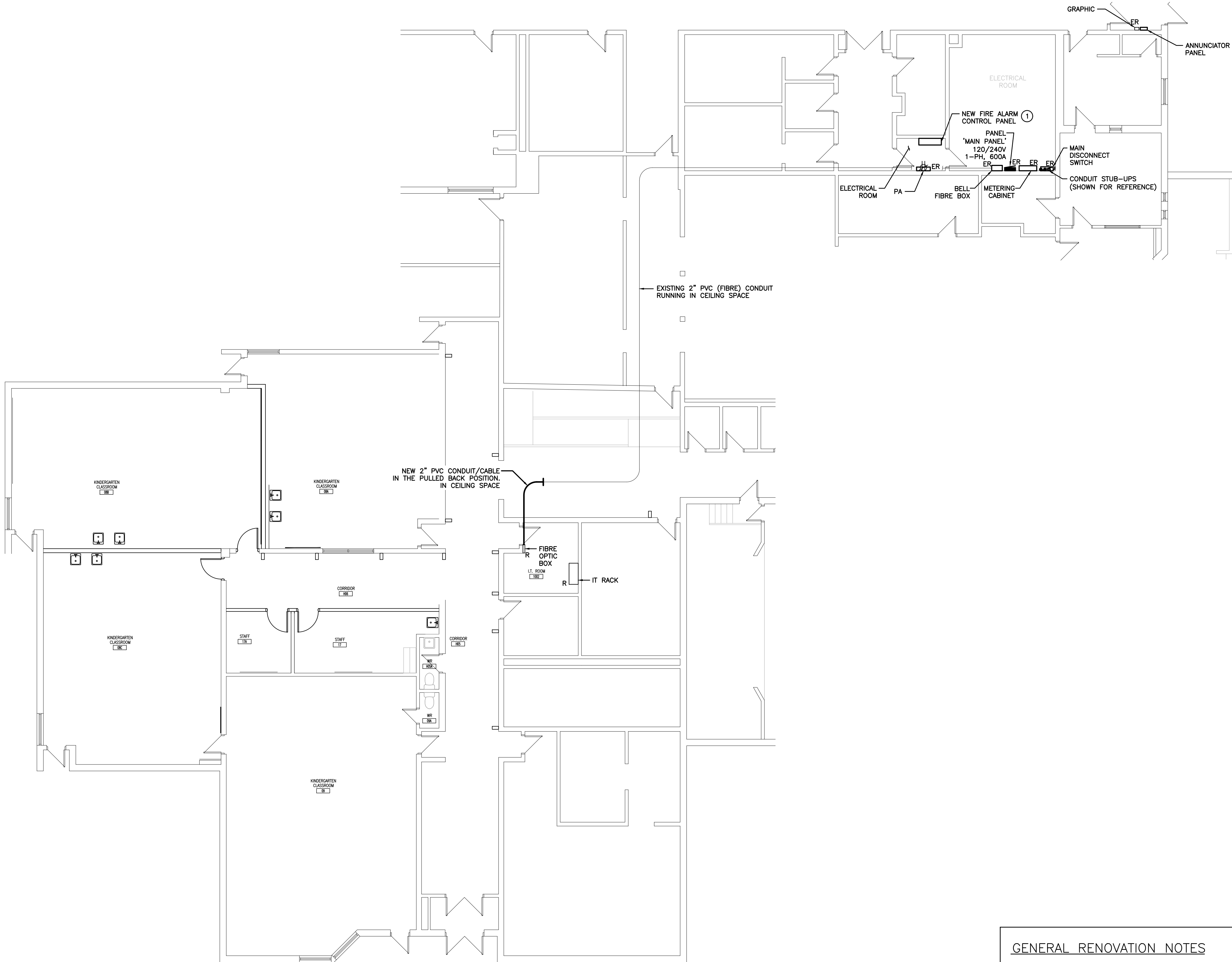
FILE:

PROJECT NO:

24006

DRAWING NO:

E301



PARTIAL GROUND FLOOR – POWER AND SYSTEMS RENOVATION PLAN
SCALE: 1:100

GENERAL RENOVATION NOTES

- 'ER' DENOTES EXISTING ITEM TO REMAIN.
- EXISTING ELECTRICAL EQUIPMENT NOT SHOWN SHALL REMAIN UNLESS NOTED OTHERWISE.
- 'R' INDICATES EXISTING ITEM TO BE RELOCATED, REFER TO RENOVATION DRAWINGS AND RELOCATE DEVICE AND WIRING TO SUIT, UNLESS OTHERWISE NOTED.
- 'D' INDICATES EXISTING ITEM TO BE DELETED, UNLESS OTHERWISE NOTED DISCONNECT AND REMOVE NOTED DEVICE AND WIRING BACK TO SOURCE.
- ALL LIGHTING FIXTURES BEING RELOCATED SHALL BE CLEANED AND CHECKED PRIOR TO BEING REINSTALLED.
- ALL MATERIALS REMOVED UNDER DEMOLITION, NOT TO BE RELOCATED OR DESIGNATED TO BE TURNED OVER TO THE OWNER, SHALL BECOME PROPERTY OF THE CONTRACTOR AND SHALL BE REMOVED COMPLETELY FROM THE SITE.

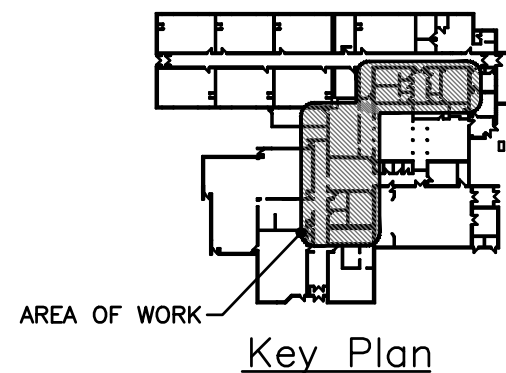
SPECIFIC RENOVATION NOTES

- 1 INDICATES APPROXIMATE LOCATION OF NEW FIRE ALARM CONTROL PANEL, NOTIFIER NFS-320SYS C/W BACKBOX/TUB, DOOR, LED ANNUNCIATOR PANEL AND PASSIVE GRAPHICS PROVIDED AS PART OF THIS SCOPE OF WORK. UTILIZE EXISTING 120V CIRCUIT MADE AVAILABLE DURING DEMOLITION. REFER TO E401 FOR FURTHER DETAILS.

The contractor shall verify all dimensions and report all errors and discrepancies to the Consultant before commencement of the work.
The drawings show general arrangement of services. Follow as closely as actual building construction will permit. Obtain approval for relocation of service from Consultant before commencement of the work.
The drawings do not indicate all offsets fitting and accessories which may be required. Provide the same to meet the required conditions.
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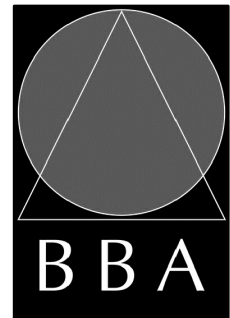
NO.	REVISIONS	DATE	BY



PROJECT:
**GRAFTON PUBLIC SCHOOL
INTERIOR RENOVATIONS**

654 Station Road, Colborne, ON
KPRDSB - GRAFTON PUBLIC SCHOOL

DRAWING:
**PARTIAL GROUND
FLOOR - RENOVATION
PLANS**



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DESIGN BY: MEK	DOC. CONTROL: DATE:
DRAWN BY: MEK	% COMPLETE:
CHECKED BY: JJ	INITIAL:
DATE: FEB 2024	SCALE: AS NOTED
FILE:	

PROJECT NO:
24006

DRAWING NO:
E302

